



OPEN MEETING

**REGULAR MEETING OF THE UNITED LAGUNA WOODS MUTUAL
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Thursday, December 20, 2018 – 9:30 a.m.
Laguna Woods Village Community Center Sycamore Room
24351 El Toro Road**

NOTICE AND AGENDA

1. Call to Order
2. Acknowledgement of Media
3. Approval of the Agenda
4. Approval of Meeting Report for October 18, 2018 (There was no Nov. meeting)
5. Committee Chair Remarks
6. Member Comments - (Items Not on the Agenda)
7. Department Head Update

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

None.

Items for Discussion and Consideration:

8. 58-E (Barcelona, 10B) Patio Enclosure
9. 145-C (La Corona, 3B) Room Extension onto Patio
10. 445-A (La Corona, 3B) Install Clear Skylights

Updates to Standards

11. Review Revisions to Architectural Standard 22: Patio Slabs
12. Review Revisions to Architectural Standard 25: Tubular Skylight Installations
13. Discuss Rescinding Architectural Standard 26: Solariums and Garden Rooms

Reports:

14. Discuss and Review Revising the Alteration Inspection Fees

Items for Future Agendas

None.

Concluding Business:

15. Committee Member Comments

16. Date of Next Meeting - January 17, 2018

17. Adjournment

Carl Randazzo, Acting Chair
Kurt Wiemann, Staff Officer
Eve Morton, Alterations Coordinator: 949-268-2565

OPEN MEETING

REGULAR MEETING OF THE UNITED LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Tuesday, October 24, 2017 – 9:30 a.m.
Laguna Woods Village Community Center Sycamore Room
24351 El Toro Road

(The Bus Tour immediately followed this meeting)

REPORT

MEMBERS PRESENT: Janey Dorrell - Chair, Don Tibbets, Juanita Skillman, Reza Bastani

MEMBERS ABSENT: Cash Achrekar

ADVISORS PRESENT: Mike Mehrain, Kay Anderson

STAFF PRESENT: Kurt Wiemann, Lori Moss, Gavin Fogg, and Melody Thomas

1. Call to Order

Chair Dorrell called the meeting to order at 9:30 a.m.

2. Acknowledgement of Media

No media were present.

3. Approval of the Agenda

Director Skillman made a motion and Director Tibbets seconded to approve the agenda. The committee was in unanimous support.

4. Approval of the Special Meeting Report for October 12, 2017

Director Skillman made motion and Director Skillman seconded to approve the report. The committee was in unanimous support.

5. Committee Chair Remarks

Chair Dorrell welcomed Director Reza Bastani to the committee.

6. Member Comments - *(Items Not on the Agenda)*

(194-B) Carol Osberg – Ms. Osberg voiced her concerns on the remodeling being done at Manor 196-B and questioned the length of time allotted to Members to complete construction. Chair Dorrell addressed Ms. Osberg and explained the variables involved in the process.

(199-B) Jeannie Braden – Ms. Braden asked who is responsible for addressing City code issues found within a Manor. Staff responded that the City of Laguna Woods holds primary responsibility over addressing code issues within a dwelling unit, but noted that the Mutual advises Members of their responsibility to obtain a City Permit for alterations.

7. Department Head Update

Mr. Wiemann reported that the Permits and Inspections department will now use individual stamps to mark Mutual Consent forms before giving them to member owners to take to the City. Mr. Wiemann also shared two new pieces of literature that would be available to Mutual members as a resource for remodeling and obtaining Mutual consents.

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

8. 196-B (La Corona, Plan 3R) – Non-Standard Windows on Room Addition, Non-Standard Bathroom Split, Walk-in Closet and Laundry Room.

Director Skillman made a motion to approve the Consent Calendar, Director Tibbets seconded the motion. A vote was cast and the motion was approved unanimously.

Items for Discussion and Consideration:

9. 187-B (Seville, Plan 5) – Enclose Upper Level of Seville Unit.

A motion was made by the committee to approve the variance request for 187-B with Standard Conditions. A vote was cast and the motion was approved unanimously.

10. 602-A (Valencia, Plan 9) – Bathroom Addition and Window to Door in Kitchen.

Discussion ensued on whether the proposed plans for Manor 602-A would decrease the resale value of the home by eliminating the second bedroom to accommodate a larger bathroom. Dennis Metzler of Dennis Metzler General Contracting was in attendance representing the owner and offered to comment on the reasons for the proposed variance request.

A motion was made by the Committee to approve the variance request for 602-A with Standard Conditions. A vote was cast and the motion was approved unanimously.

11.765-A (La Corona, Plan 3B) – Appeal to Denial of Request to Retain Unapproved Patio Room Addition, Window Addition and Window Resizing.

Discussion ensued on the details of how the patio room addition was constructed. Mr. Mosen Asadi of Manor 765-A was in attendance and was asked to comment on the reasons behind the request to appeal the Board's decision. Mr. Asadi explained that after the Board's decision, he had a review of the work performed by a structural engineer, who subsequently stamped his plans. The committee commented that while the structural engineer might approve of the proposed plans, the actual construction of the unit was not approved and that there were additional concerns with the workmanship of the construction.

Director Skillman made a motion to put the Committee's decision on hold for one month in order for Advisor Mehrain and Director Bastani to visit the Manor and evaluate some of the Committee's concerns. Discussion ensued between Mr. Asadi and the Committee.

Director Skillman withdrew the motion and proposed a new motion to deny the appeal of Board's decision. Director Skillman added to the motion, stating that the room addition must be removed within 90 days and that the unit may not be leased until that time. Director Tibbets seconded the motion. A vote was cast and the motion was approved 2 to 1 with Director Bastani casting the no vote.

12.354-B Status Update

Staff advised that the Member of Manor 354-B has obtained the City final permit for the room addition and would contact staff to schedule the Mutual final inspection.

13.Update on Member Guidelines for Manor Alterations Pamphlet

Mr. Wiemann and Ms. Moss presented the updated United Mutual Manor Alterations pamphlet to the Committee. Discussion ensued and minor revisions were suggested by the Committee. The Committee agreed that staff could make the minor revisions and initiate use of the pamphlet without further Committee review.

14.638-O Status Update

Staff stated that this Variance request had been brought to the Committee On August 22, 2017; a neighbor had disputed the placement of the condenser and the Committee had directed staff to resolve the issue between the neighbors. Staff advised that although the layout for Building 638 was evaluated for A/C condenser unit placement and there is appropriate space

for a unit to be installed for each Manor, staff was unable to get a written approval from the neighbor.

Director Tibbets made a motion to approve Manor O's request without needing to obtain a Neighbor Awareness Form. Director Skillman seconded the motion. A vote was cast and the motion was approved unanimously.

Reports:

None

Items for Future Agendas

Mr. Wiemann asked for clarification on Committee's request for a new Standard for bathroom splits; whether they intended for an Architectural Standard Drawing or a written Standard outlining parameters. Director Skillman stated that Committee's intent was to reduce the amount of Variances that were brought to the Committee and that they believed staff was competent. Staff was directed to develop a written Standard with parameters.

Concluding Business:

15. Committee Member Comments

The Committee rescheduled the United Architectural Control Committee Meeting from December 26th to December 19th 2017.

16. Date of Next Meeting and Bus Tour – November 28, 2017

17. Recessed at 11:33 p.m.



Janey Dorrell, Chair



STAFF REPORT

DATE: December 20, 2018
FOR: Architectural Control and Standards Committee
SUBJECT: Variance Request: Mr. Randy W. Felten of 58-E (Barcelona, 10B)
Patio Enclosure

RECOMMENDATION

Staff recommends the Board approve the request to enclose the patio with the conditions as stated in Appendix A.

BACKGROUND

Mr. Felten of 58-E Calle Cadiz, a Barcelona style unit, requests Board approval of a variance to enclose the patio of his Barcelona unit.

The approved Mutual Standard requires that at least a portion of the wall must remain in place, therefore, by completely removing the block wall, the proposed enclosure doesn't meet Mutual Standards; Board approval is required prior to issuing a Mutual Consent for the alteration.

Plans and specifications have been submitted for review (Attachment 1).

DISCUSSION

Mr. Felten proposes to construct a 9' wide by 12'6" long patio enclosure within the existing front patio of the unit. The proposal calls to remove the existing block walls that surround the patio and install a white vinyl framing system with dual pane windows and insulated roof panels to enclose the area. All of the proposed work is within the original footprint of the unit.

The right elevation of the enclosure will consist of a 37" wide by 6'8" tall door, and two 3'8" wide by 4'6" high windows. Panels with a white stucco finish will be used for the transoms and kick plates.

The front elevation will contain two 3'8" wide by 4'6" wide windows with matching simulated stucco panels.

The proposed roof will have ¼" per foot slope, an integral gutter and downspouts, and will be tied in at the existing 7'9" roof height. Insulated panels will be used along with a beam to allow an interior ceiling fan to be installed.

Currently, there are no open Mutual Consents for Unit 58-E.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes.

A Neighbor Awareness Notice was sent to Units 57-F, 57-G, 57-S, 57-T, 58-F, 58-G, 58-H, 62-A, 62-D, 63-A and 63-D on December 5, 2018, due to sharing common walls, having line of sight, or being potentially affected during construction.

At the time of writing the report, there have been no responses to the Neighbor Awareness Notices.

Staff found five Mutual Consents previously issued for patio enclosures for the same floor plan. Four were approved over-the-counter due to meeting Mutual Standards for sun rooms by leaving a portion of the patio wall intact and adding framing with a cover above. The remaining enclosure was approved by Variance due to involving additional common area from the adjacent entryway to be enclosed.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 58-E.

Prepared By: Gavin Fogg, Alterations Inspector

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager
Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Appendix A: Conditions of Approval
Attachment 1: Site Plans
Attachment 2: Variance Request, October 16, 2018
Attachment 3: Photos
Attachment 4: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of Approval:

1. No improvement shall be installed, constructed, modified or altered at Unit **58-E**, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Shareholder s ("Shareholder ") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
2. A Variance for Alterations has been granted at **58-E** for **Enclosure on front Patio**, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Shareholder.
3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Shareholder at 58-E and all future Mutual Shareholders at 58-E.
4. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
5. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
6. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

7. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Shareholder may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Shareholder's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must be repaired at the Mutual's expense prior to installation.
8. Prior to the Issuance of a Mutual Consent for Alterations, the Shareholder shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Shareholder. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.
9. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).
10. Prior to the issuance of a Mutual Consent for Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "United Laguna Woods Mutual Color Selections" at Resident Services, located at the Community Center first floor.
11. Shareholder hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
12. Shareholder shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Shareholder acknowledges and agrees that all such persons are his/her invitees. Shareholder shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations. Shareholder shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
13. Shareholder is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com>) in place to admit contractors and other invitees.

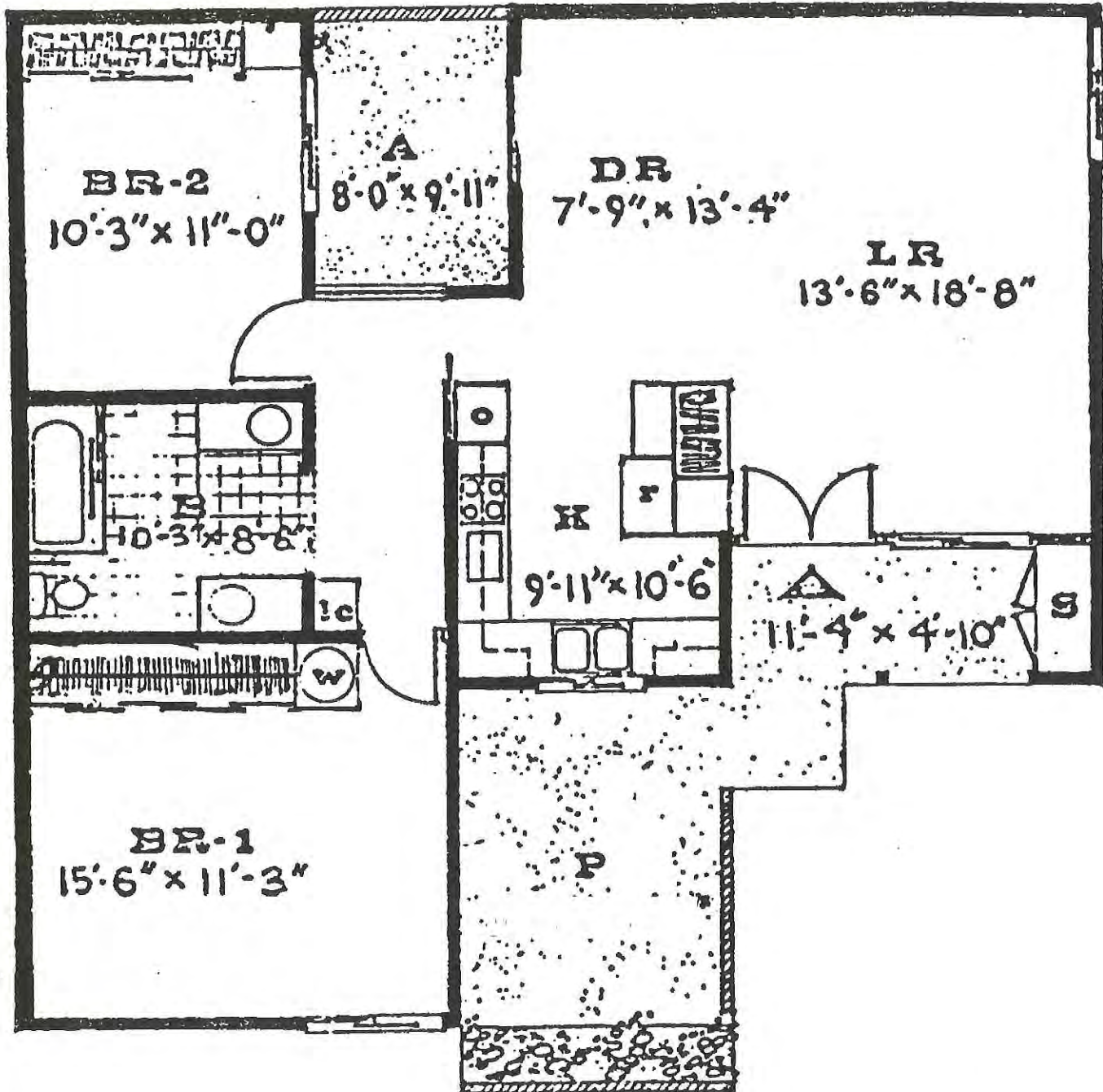
14. Shareholder's contractors and other invitees shall travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
15. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
16. Prior to the Issuance of a Mutual Consent for Alterations, the Shareholder shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until both a Final Mutual Consent for Alterations and a Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
17. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Shareholder or the Property, to cover and/or recoup any costs whatsoever, including, but not limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Shareholder; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Shareholder's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
18. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Shareholder agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
19. Any remaining Conformance Deposit is refundable if the Shareholder notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Shareholder's address of record with the Mutual. Under no circumstances shall Shareholder be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Shareholder within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
20. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.

21. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
22. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
23. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
24. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
25. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
26. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
27. The Mutual Consent for Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
28. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Shareholder. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
29. Mutual Shareholder shall indemnify, defend and hold harmless United and its officers, directors, committee Shareholders and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual Shareholder's improvements and installation, construction, design and maintenance of same.

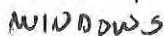
ATTACHMENT 1

GRANADA(10A)
BARCELONA(10B)

BEFOR



BARCELONA(10B)





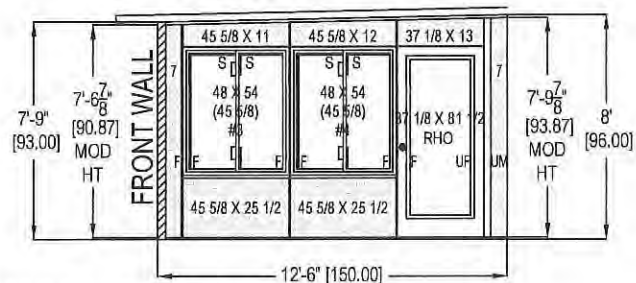
1477 Davitt Circle, Corona CA 92680
Toll Free: 800-287-2846 Main Phone: 951-359-8777
Fax: 951-359-0847

OMEGA ORDER FORM

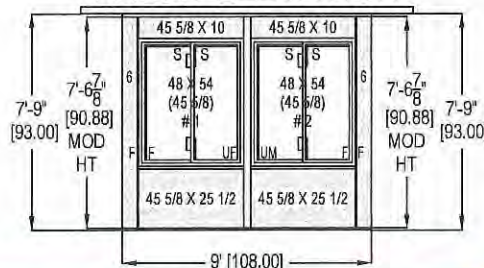
DEALER		CUSTOMER	
Name:	California Sunroom Pros	Name:	E-Felton
Address:	[REDACTED]	Address:	
City:	[REDACTED]	City:	St: Zip:
Ordered By:	Eduardo Lopez	Order #:	16-1444 08/10/2018
Phone:	[REDACTED]	REV #	
Email:		<input checked="" type="checkbox"/> Will Call	<input type="checkbox"/> Ship to Dealer <input type="checkbox"/> Ship to Customer

WALLS															
1. WALL SYSTEM <input checked="" type="checkbox"/> "OMEGA" MODULAR <input type="checkbox"/> "OMEGA" KNOCKDOWN	5. WINDOW/GLAZING Slid. Window Widths: 24" - 36" - 42" - 48" - 54" <input checked="" type="checkbox"/> STANDARD HEIGHT 54" <input type="checkbox"/> CUSTOM HEIGHT 60" <input type="checkbox"/> SMARTGLASS 30 - SINGLE PANE <input checked="" type="checkbox"/> SMARTGLASS 60 - DUAL PANE <input type="checkbox"/> SMARTGLASS 180 - TRIPLE PANE	7. TRANSOMS <input type="checkbox"/> 12" GLASS <input type="checkbox"/> 24" GLASS <input checked="" type="checkbox"/> SOLID	11. ELECTRICAL <input type="checkbox"/> OUTLETS # _____												
2. WINDOW/DOOR FRAME COLOR <input checked="" type="checkbox"/> WHITE <input type="checkbox"/> ALMOND	6. KICKPLATES <input type="checkbox"/> ALIGN WINDOW HEIGHT WITH DOOR HEADER HEIGHTS <input type="checkbox"/> 12" GLASS <input type="checkbox"/> 24" GLASS <input checked="" type="checkbox"/> SOLID <input type="checkbox"/> 2 STAGE 2" SOLID UNDER GLASS	8. TRAPEZOIDS <input type="checkbox"/> PREGLAZED CUSTOM GLASS TRAPS (Omega And Alpha Plus Only) <input type="checkbox"/> CUSTOM READY TRAPS - NO GLASS (Vinyl Or Aluminum Frames) <input checked="" type="checkbox"/> SOLID	12. DOORS <input checked="" type="checkbox"/> 3' PED ALL GLASS RHO <input checked="" type="checkbox"/> LHI # _____ RHI # _____ LHO # _____ <input type="checkbox"/> 6' DOUBLE PED ALL GLS # _____ <input type="checkbox"/> 6' SLIDING DOOR # _____ <input type="checkbox"/> 8' SLIDING DOOR # _____ <input type="checkbox"/> 12' BI PARTING DOOR # _____ <input type="checkbox"/> 16' BI PARTING DOOR # _____												
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RIGHT ELEVATION

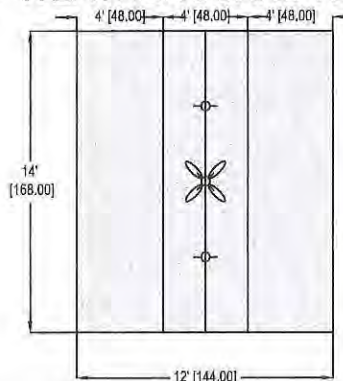


FRONT ELEVATION



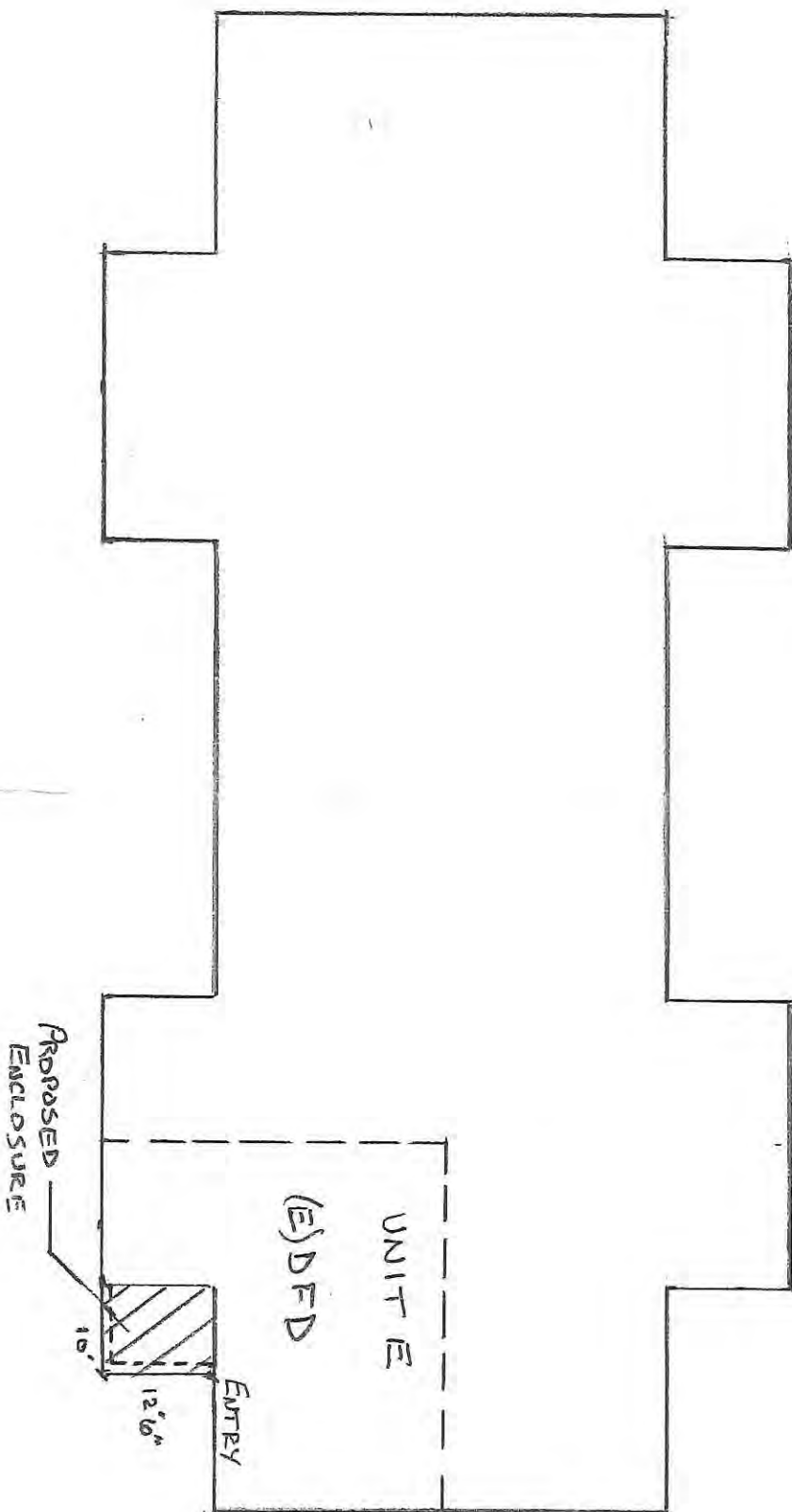
ROOF OPTIONS	WEATHERGUARD ROOF		GLASS ROOF	
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2. ROOF STYLE: <input checked="" type="checkbox"/> SHED <input type="checkbox"/> GABLE	6. ELECTRICAL: <input type="checkbox"/> LED CEILING LIGHTS # _____	8. ROOF PANEL COLOR: <input checked="" type="checkbox"/> WHITE / WHITE	12. # OF BAYS: <input type="checkbox"/> 42" BAY <input type="checkbox"/> 48" BAY	14. ROOF PANEL COLOR: <input type="checkbox"/> WHITE / WHITE <input type="checkbox"/> ALMOND / WHITE
3. ROOF PITCH PER FOOT: _____		9. ROOF PANEL TEXTURE: <input checked="" type="checkbox"/> CEADER/CEADER		
4. ROOF TOP ATT HEIGHT: _____		10. GUTTER OPTION: <input checked="" type="checkbox"/> DOWNSPOUT KITS # <u>1</u>		

3" WEATHERGUARD ROOF



CALLE CADIZ

CALLE CADIZ



SITE MAP SCALE: 1" = 20'

CALIFORNIA SUNROOM PROS

PROJECT ADDRESS

LEGAL DESCRIPTION

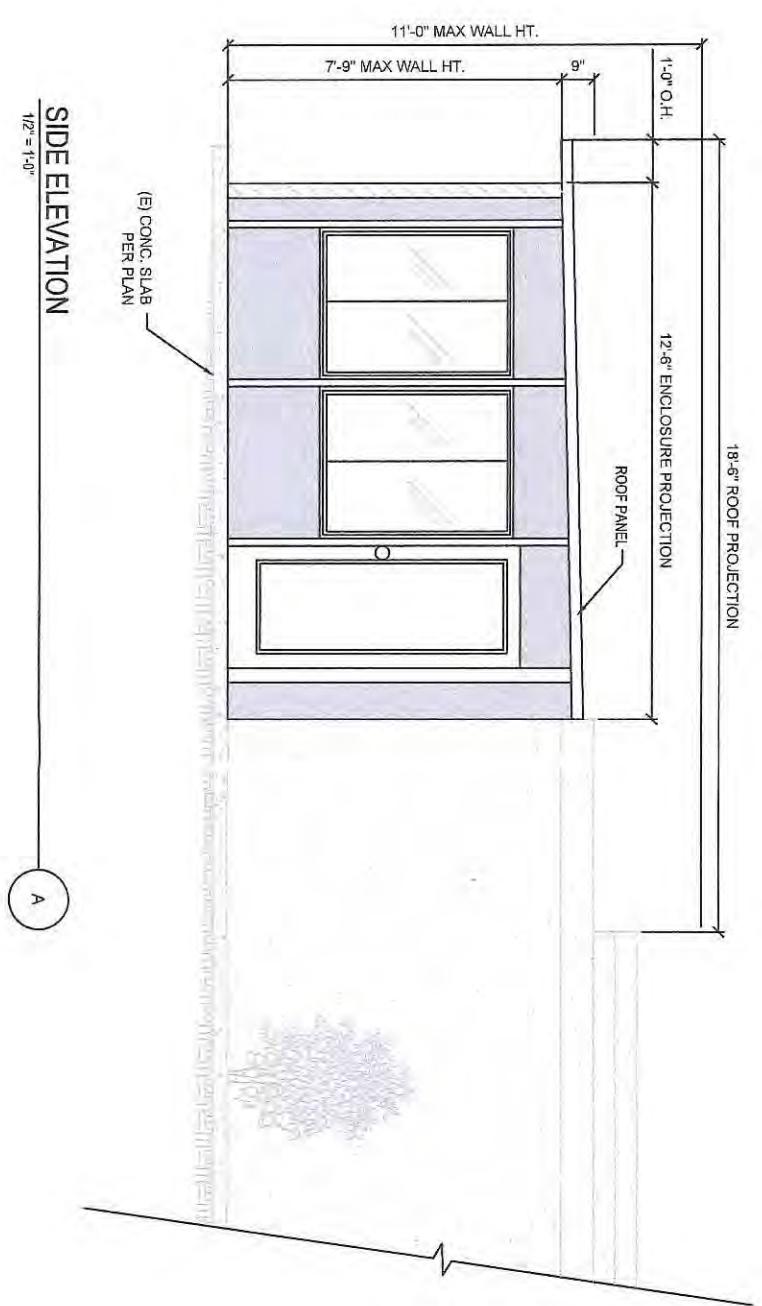
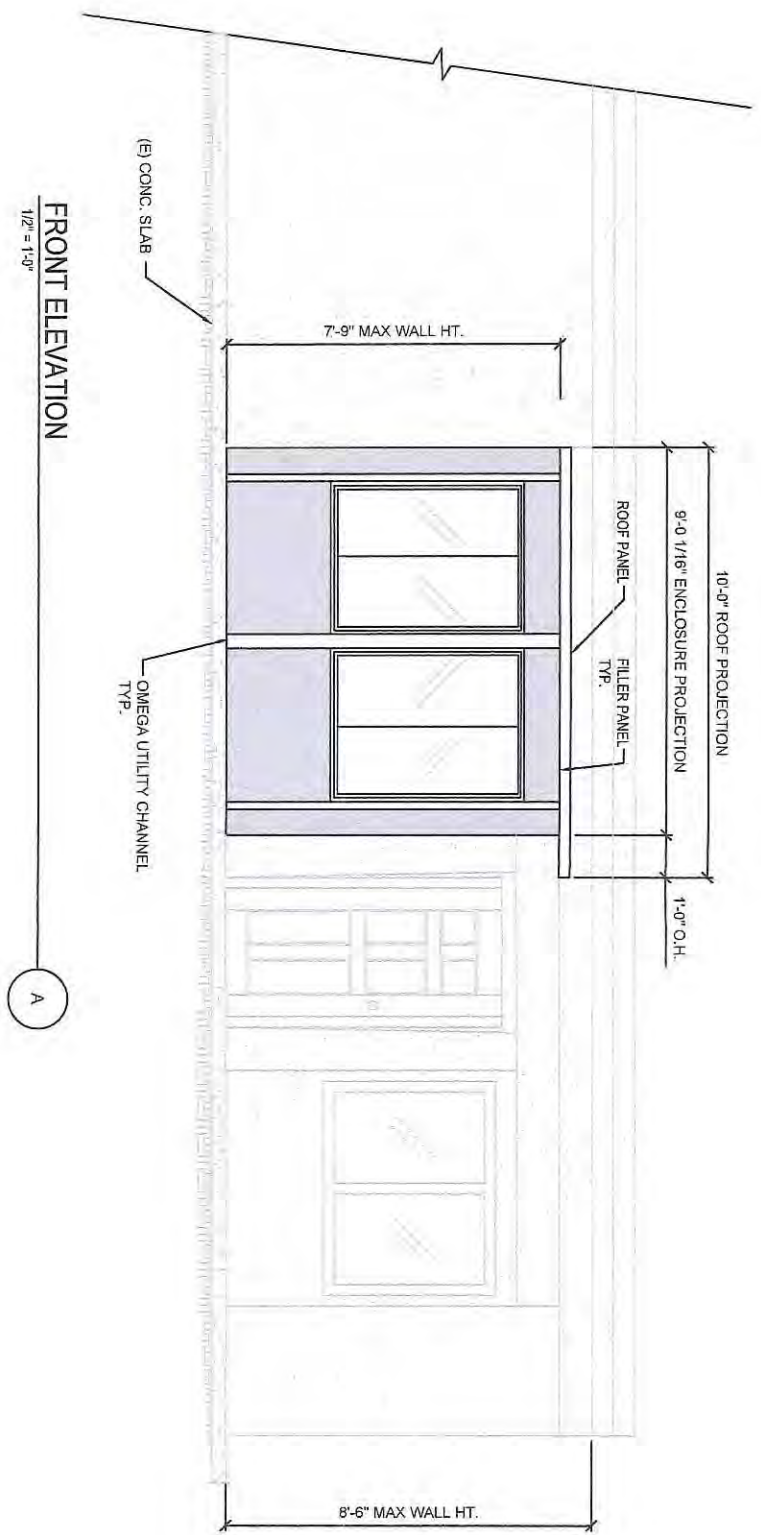
APN:
TRACT:
LOT:


SCOPE: INSTALL PREFAB PORCH
ENCLOSURE WITH ELECTRICAL
(1) FAN (3) LIGHT (2) OUTLET (1) SWITCH

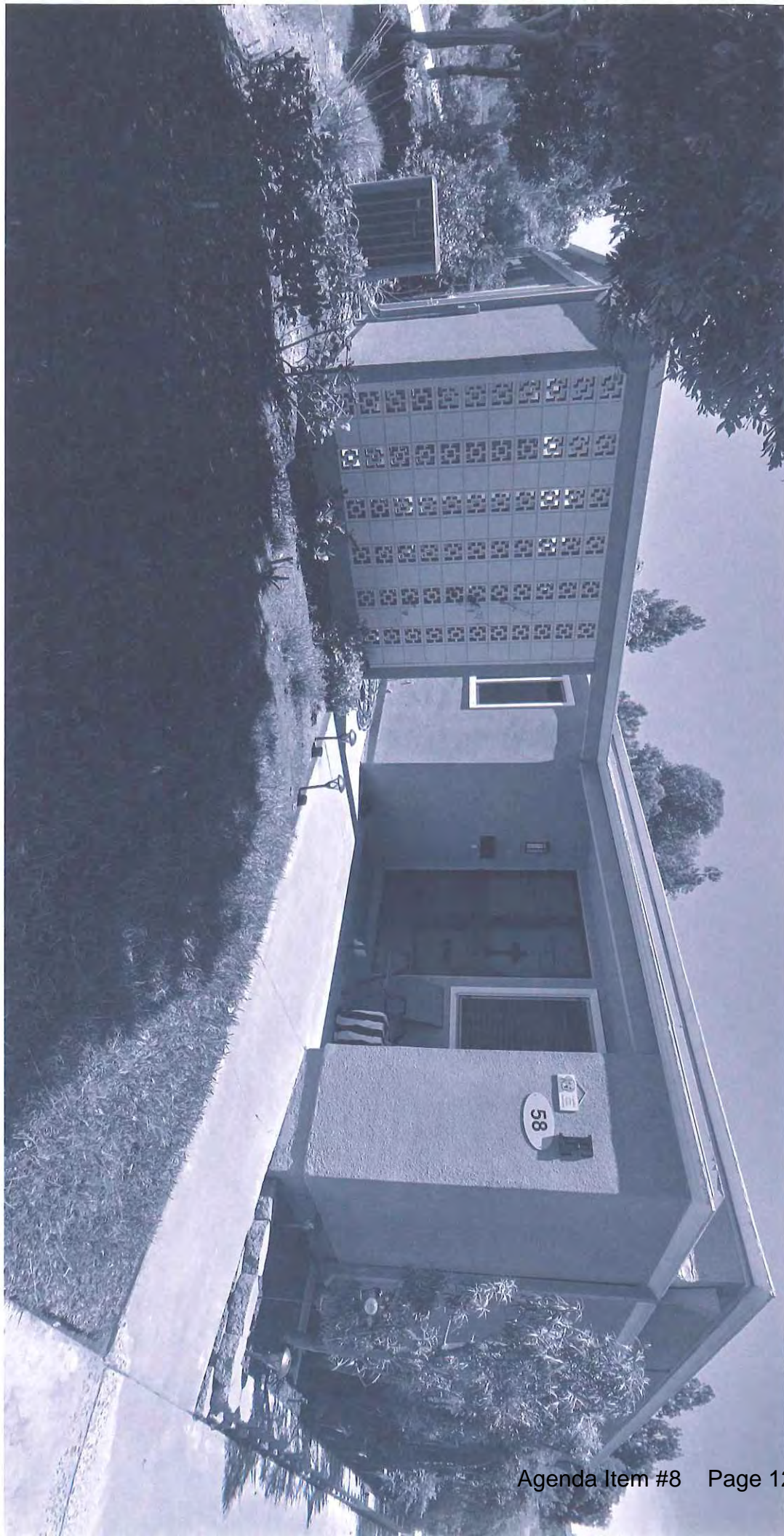


VICINITY MAP

PREPARED BY:
J.R. ENTERPRISES ♦



SHEETS 2 OF 2	S-2.0	DRAWING PENDING	DATE 10/10/18	PROJECT S. 1809002.02	CLIENT G. PANIK	SHEET NO. B. M.	SHEET TITLE ELEVATIONS	MANUFACTURE:  The "Original" Sunroom Manufacture Since 1947	RESTRICTIVE NOTICE: ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS, SPECIFICATIONS AND INFORMATION INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE EXCLUSIVE PROPERTY OF VTA CONSULTING ENGINEERS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THE DETAILS, DESIGNS, AND IDEAS ETC. SHALL BE USED, COPIED DIRECTLY OR INDIRECTLY IN WHOLE OR PART TO PROVIDE INFORMATION TO PRODUCE, CONSTRUCT OR MANUFACTURE WITHOUT THE FULL KNOWLEDGE AND WRITTEN CONSENT OF VTA CONSULTING ENGINEERS. THIS DRAWING IS PROTECTED BY COMMON LAW COPYRIGHT.	 PLUMP ENGINEERING INC. CONSULTING ENGINEERS IN STRUCTURAL ENGINEERING	REVISION DATE







Variance Request Form

SA 21308012

Model: <u>Barcelona</u>	Plan:	Date: <u>10/15/18</u>
Member Name: <u>RANDY FELTON</u>	Signature <u>Randy Felton</u>	
Phone: [REDACTED]	[REDACTED]	
Contractor Name/Co: <u>JOE MORRIS / CALIFORNIA SUNROOM PROS</u>	Pho: [REDACTED]	[REDACTED]
Mailing Address: <u>58 CALLE CADIZ #E LAGUNA WOODS, CA. 92637</u> (to be used for official correspondence) <u>AND</u> [REDACTED]		

Description of Proposed Variance Request ONLY: DEMO 2 WALLS MAKING UP THE (E) COURT YARD. 10'3" X 12'6" AREA.

Dimensions of Proposed Variance Alterations ONLY: 9' x 12'6" PRE FAB PATIO ENCLOSURE WITH 3" INSULATED ROOF.

FOR OFFICE USE ONLY

RECEIVED BY: SL DATE RECEIVED: 10/15/18 Check# 5197 BY: J.R. Enterise Group

<p>Alteration Variance Request</p> <p>Check Items Received:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____ 	<p>Complete Submittal Cut Off Date: <u>12-16-18</u></p> <p>Meetings Scheduled:</p> <p>Third AC&S Committee (TACSC): _____</p> <p>United M&C Committee: <u>11-15-18</u></p> <p>Board Meeting: <u>12-11-18</u></p> <p><input type="checkbox"/> Denied <input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Tabled <input type="checkbox"/> Other _____</p>
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Attachment: 3





Attachment: 4





STAFF REPORT

DATE: December 20, 2018
FOR: Architectural Control and Standards Committee
SUBJECT: Variance Request: Mr. Abdol Riahi of 145-C (La Corona, 3B)
Extend Living Room into Front Patio

RECOMMENDATION

Staff recommends the Board approve the request to extend the living room into the front patio with the conditions stated in Appendix A.

BACKGROUND

Mr. Riahi of 145-C Avenida Majorca, a La Corona style unit, requests Board approval of a variance to extend the living room by 8' into the existing front patio.

There is an existing Architectural Standard (#12) for a full patio room addition on a La Corona unit, however, due to the request not matching with the existing plans, Staff seeks Board approval prior to issuing a Mutual Consent for the alterations.

Plans and specifications have been submitted for review (Attachment 1).

DISCUSSION

Mr. Riahi is requesting Board approval to remove the existing front living room exterior wall, and extend the living room 8' into the patio by installing an exterior wall using a wood frame construction with stucco finish to match the existing building. The extension would take place within the original footprint and behind the existing patio block wall.

The new front exterior wall would contain a new entry door with side lights measuring a total of 5'4" wide (36" wide door with two 12" wide side lights) by 6'8" tall, alongside a sliding window with colonial grid framing measuring 4' wide by 5'4" tall. Headers of both door and window would be level.

The left elevation would contain a window matching the 4' wide by 5'4" dimensions of the front window, while the rest of the wall would be stucco to match existing.

The room extension will take place under the existing roof that was installed originally over the patio via Mutual Consent #312 in 1966 and maintained as part of the United Mutual Re-Roofing program.

The sliding glass door between the kitchen and patio will be removed and a new concrete slab will be poured to raise the room extension to match the rest of the unit. Structural drawings are required; footings will be inspected and reinforced where deemed necessary by a licensed engineer prior to construction.

Mr. Riahi also proposes to split the existing one and half bath into two separate bathrooms. The proposal also includes remodeling the kitchen and relocating the water

heater to accommodate a washer and dryer installation. These items can be accomplished via an over-the-counter Mutual Consent.

Currently, there are no open Mutual Consents for Unit 145-C.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes.

A Neighbor Awareness Notice was sent to Units 144-A, 144-B, 144-C, 145-A and 145-B on December 10, 2018, due to sharing common walls, having line of sight, or being potentially affected during construction.

At the time of writing the report, there have been no responses to the Neighbor Awareness Notices.

Previous examples of room additions approved on front patios for La Corona style units can be found at 193-C and 194-C in August 1996, 194-A in December 2000, 685-A in October 2002, 297-B in February 2003, 508-B in November 2004, 299-A in August 2006, 693-C in September 2013 and 196-B in September 2017.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 145-C.

Prepared By: Gavin Fogg, Alterations Inspector

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager
Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Appendix A: Conditions of Approval
Attachment 1: Site Plans
Attachment 2: Variance Request, November 15, 2018
Attachment 3: Photos
Attachment 4: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of Approval:

1. No improvement shall be installed, constructed, modified or altered at Unit **145-C**, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Shareholder s ("Shareholder ") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
2. A Variance for Alterations has been granted at 145-C **for Room extension onto front patio**, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Shareholder.
3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Shareholder at **145-C** and all future Mutual Shareholders at **145-C**.
4. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
5. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
6. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
7. Prior to the Issuance of a Mutual Consent for Alterations, **the Shareholder must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed.** The inspection will be a chargeable service to

the Shareholder. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Alterations staff to review.

8. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Shareholder may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Shareholder's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must be repaired at the Mutual's expense prior to installation.
9. Prior to the Issuance of a Mutual Consent for Alternations, the Shareholder shall request a Broadband infrastructure inspection to assure that Mutual property is appropriately identified in order to be addressed during construction.
10. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).
11. Prior to the issuance of a Mutual Consent for Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "United Laguna Woods Mutual Color Selections" at Resident Services, located at the Community Center first floor.
12. Shareholder hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
13. Shareholder shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Shareholder acknowledges and agrees that all such persons are his/her invitees. Shareholder shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations. Shareholder shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
14. Shareholder is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com>) in place to admit contractors and other invitees.

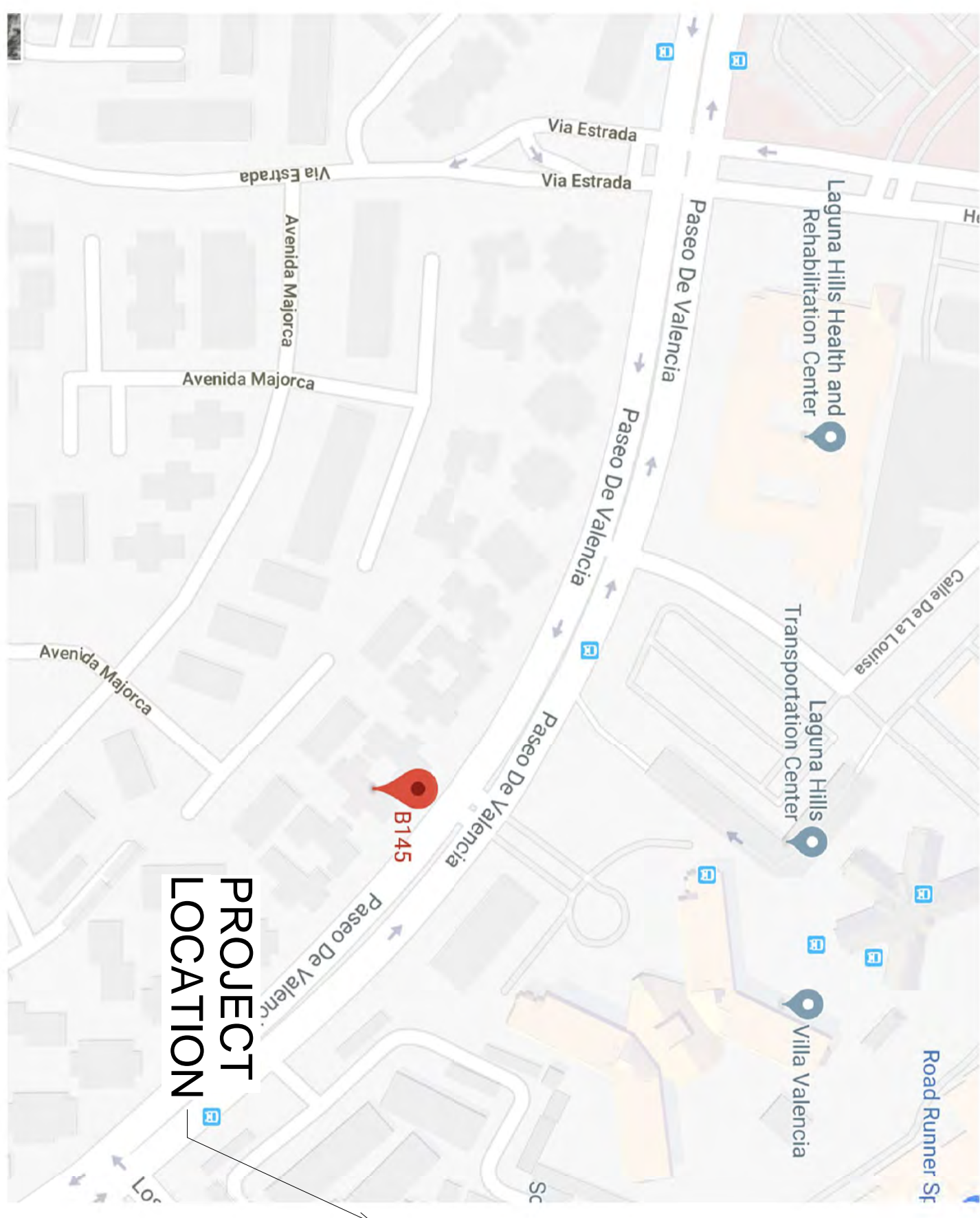
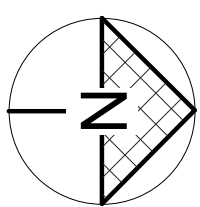
15. Shareholder's contractors and other invitees shall travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
16. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
17. Prior to the Issuance of a Mutual Consent for Alterations, the Shareholder shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until both a Final Mutual Consent for Alterations and a Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
18. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Shareholder or the Property, to cover and/or recoup any costs whatsoever, including, but not limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Shareholder; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Shareholder's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
19. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Shareholder agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
20. Any remaining Conformance Deposit is refundable if the Shareholder notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Shareholder's address of record with the Mutual. Under no circumstances shall Shareholder be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Shareholder within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
21. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards,

Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.

22. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
23. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
24. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
25. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
26. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
27. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
28. The Mutual Consent for Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
29. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Shareholder. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
30. Mutual Shareholder shall indemnify, defend and hold harmless United and its officers, directors, committee Shareholders and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual Shareholder's improvements and installation, construction, design and maintenance of same.

ALTERATION TO RESIDENTIAL BUILDING
145 C AVENIDA MAJORCA
LAGUNA WOODS, CA

Property Address: 145 Avenida Majorca, Unit C
Laguna Woods, CA 92637



VICINITY MAP



INFORMATION BULLETIN / PUBLIC – BUILDING CODE
REFERENCE NO.: LARC Effective: 01-01-2011
DOCUMENT NO. P/BC 2017-004 Revised:
Previously Issued As: P/BC 2014-004

**WOOD FRAME PRESCRIPTIVE PROVISIONS
ONE STORY RESIDENTIAL CONSTRUCTION ONLY**
(Formerly known as Type V Sheet)

The wood frame prescriptive provisions are for one and two family dwellings and townhouses of wood frame construction, not exceeding one story in height. This information Bulletin is for information and reference only and is not a substitute for accurate drawings prepared for each proposed construction project.

LARC refers to the Los Angeles City Residential Code section within the Los Angeles City Residential Code.

a) Roof and floor boundary elements shall not cantilever past exterior wall line(s) below.

b) The building is within all of the requirements of Section R501.2.2.2.3.1 for being considered as regular.

FOOTINGS ON EXPANSIVE SOILS

Footings systems on expansive soil shall be constructed in a manner that will minimize damage to the structure from movement of the soil. All soil in the City of Los Angeles is considered expansive unless proven otherwise by an approved soils report.

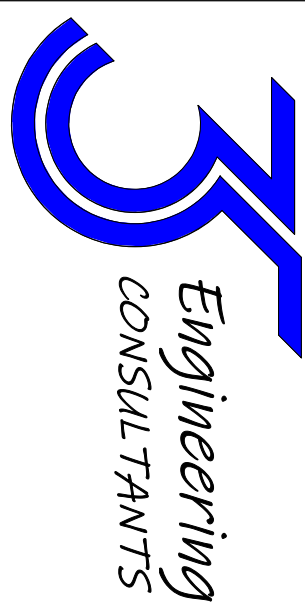
1. Depth of footings below the natural and finished grades shall not be less than 24 inches for exterior and 18 inches for interior footings.
2. Exterior walls and interior bearing walls shall be supported on continuous footings.
3. Footings shall be reinforced with four 3/4-inch diameter deformed reinforcing bars. Two bars shall be placed 4 inches from the bottom of the footing and two bars within 4 inches from the top of the footing. Reinforcement shall have a minimum 3-inch concrete cover for concrete cast against earth and reinforcement not exceeding 9/16-inch shall have minimum 1-1/2-inch concrete cover when not cast against earth.
4. Concrete floor slabs on grade shall be placed on a 4-inch fill of coarse aggregate or on a 2-inch sand bed covered with a minimum 6 mil moisture barrier membrane. The slabs shall be at least 3-1/2 inches thick and shall be reinforced with 1/2 diameter deformed reinforcing bars. Reinforcing bars shall be spaced at intervals not exceeding 16 inches each way.
5. The soil below an interior concrete slab shall be saturated with moisture to a depth of 18 inches prior to placing the concrete.
6. All drainage adjacent to footings shall be conducted away from the structure by a 3-4 wide sloped apron draining into an approved non-erective device.

ENERGY REQUIREMENTS

All work must comply with the State of California Title 24 Energy Requirements.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

Page 1 of 9

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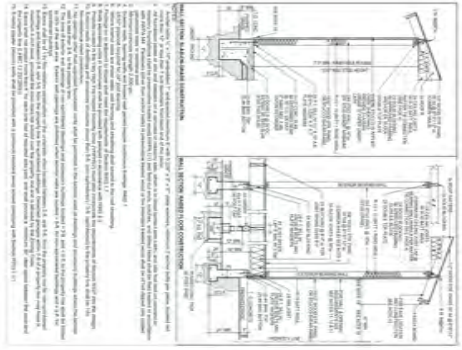
RAY RIAHI
Remodel Addition
145C Avenida Majorca Laguna Woods, CA

Project number	100.1.1
Date	10/26/2018

Checked by	Checker
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A100

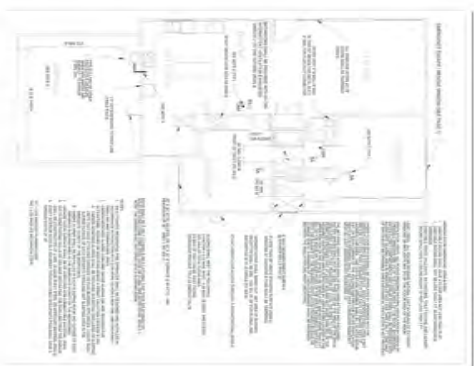
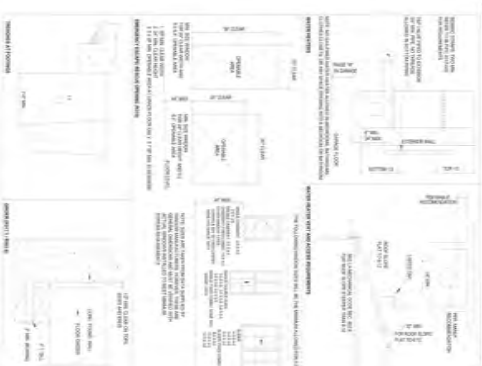
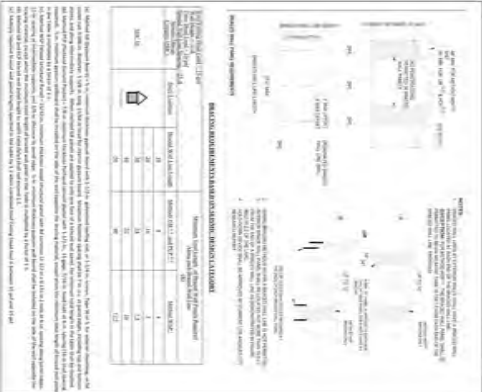
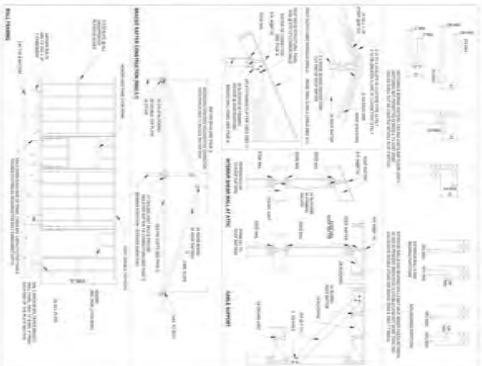
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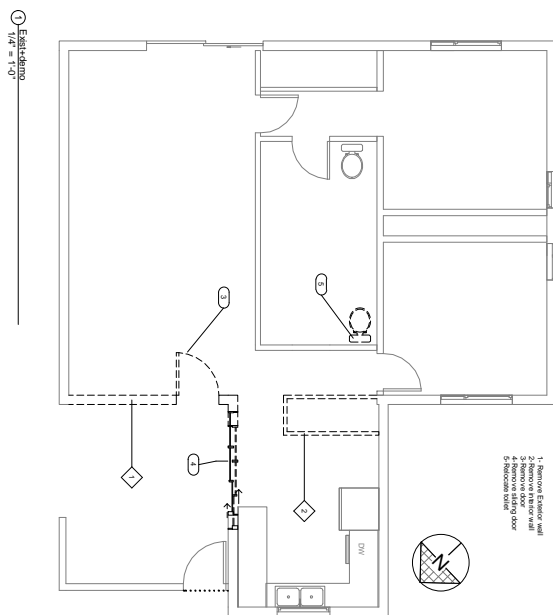
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EXISTING BUILDING DATA				EXISTING BUILDING DATA				EXISTING BUILDING DATA				EXISTING BUILDING DATA			
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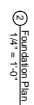
RAY RIAHI	
Remodel Addition	
NOTES	
PROJECT NUMBER	105.1.1
DATE	10/28/2018
DESIGNED BY	BRENDON
CHECKED BY	CHEN
A101	



③ SITE PLAN
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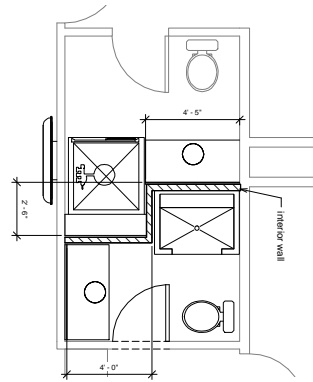
① Exist+demo
1/4" = 1'-0"

RAY RIAHI	
Remodel Addition	
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Project number	106.1.1
Date	10/20/2010
Drawn by	Almarin
Checked by	Cruscher
A102	
Scale	As indicated

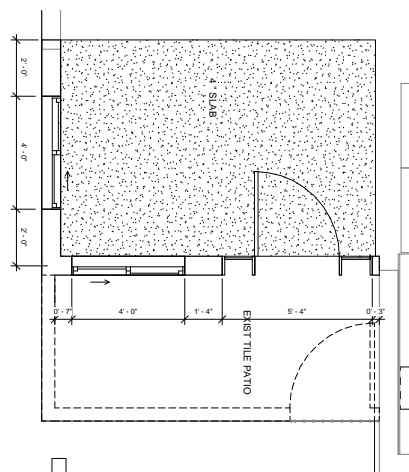


② Foundation Plan
1/4" = 1'-0"

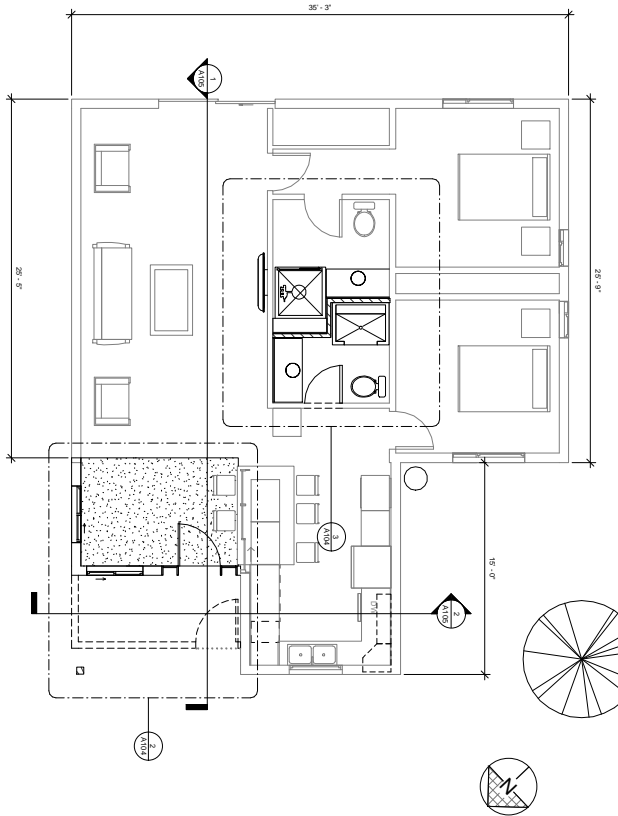
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③ Finish Plan, Callout 3
3/8" = 1'-0"



① Finish Plan, Callout 1
1/2" = 1'-0"



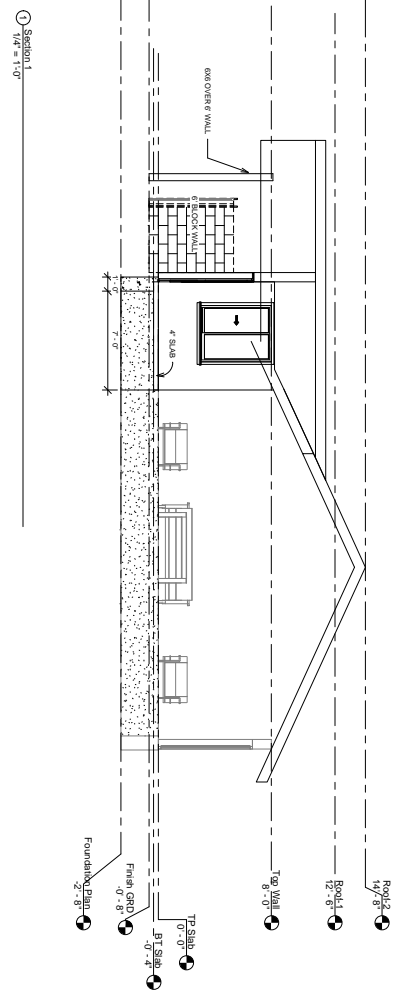
① Finish Plan
1/4" = 1'-0"



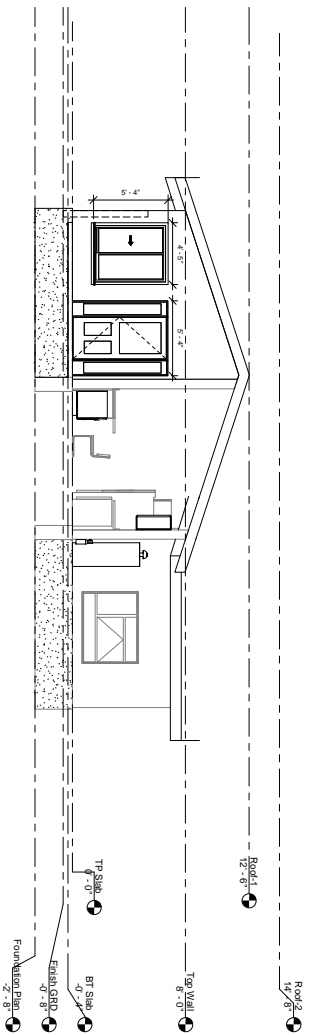
RAY RIAHI	
Remodel Addition	
Finish Plan	
Project Number	105.1.1
Date	10/28/2018
Drawn by	CHEN
Checked by	CHEN
Scale	As indicated

A104

12/11/18 5:06:27 PM

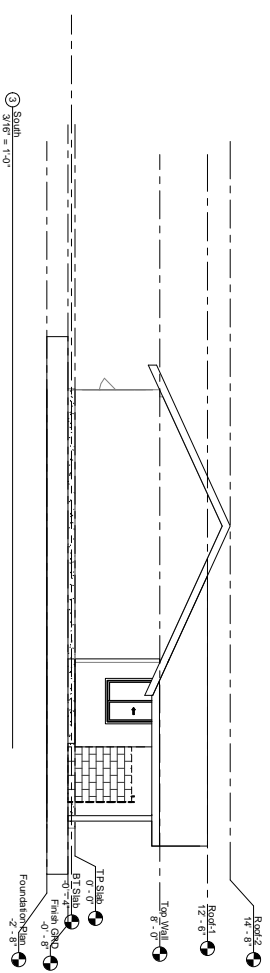
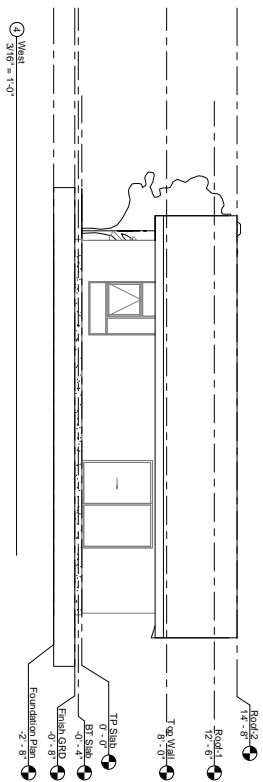
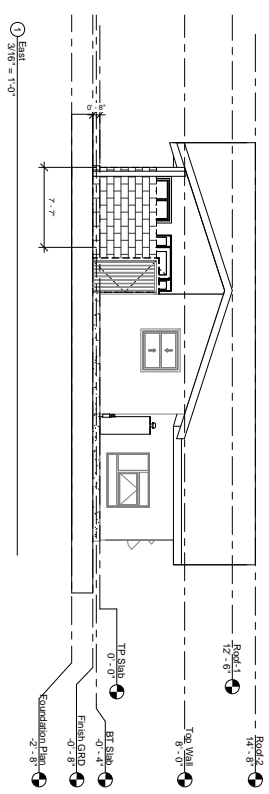
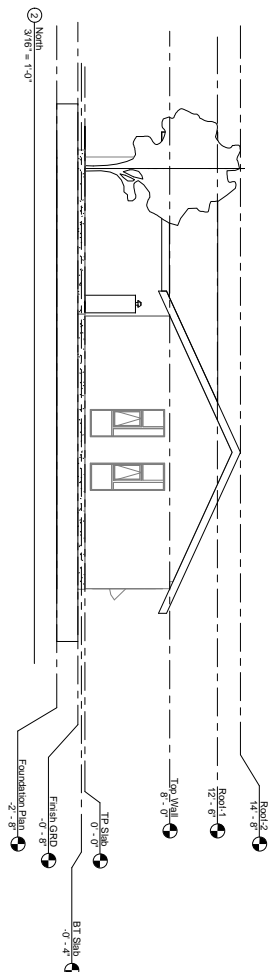


Section 2
1/4" = 1'-0"



RAY RIAHI	
Remodel Addition	
SECTIONS	
Project Number	105.1.1
Date	10/28/2018
Drawn by	BRIAN J. RIAHI
Checked by	CHAD RIAHI
A105	
Scale	1/4" = 1'-0"

12/11/18 5:05:28 PM



RAY RIAHI	
Remodel Addition	
Elevation	
Project Number	105.1.1
Date	10/28/2018
Drawn by	CHEN
Checked by	CHEN
Scale	3/16" = 1'-0"

MMI Door

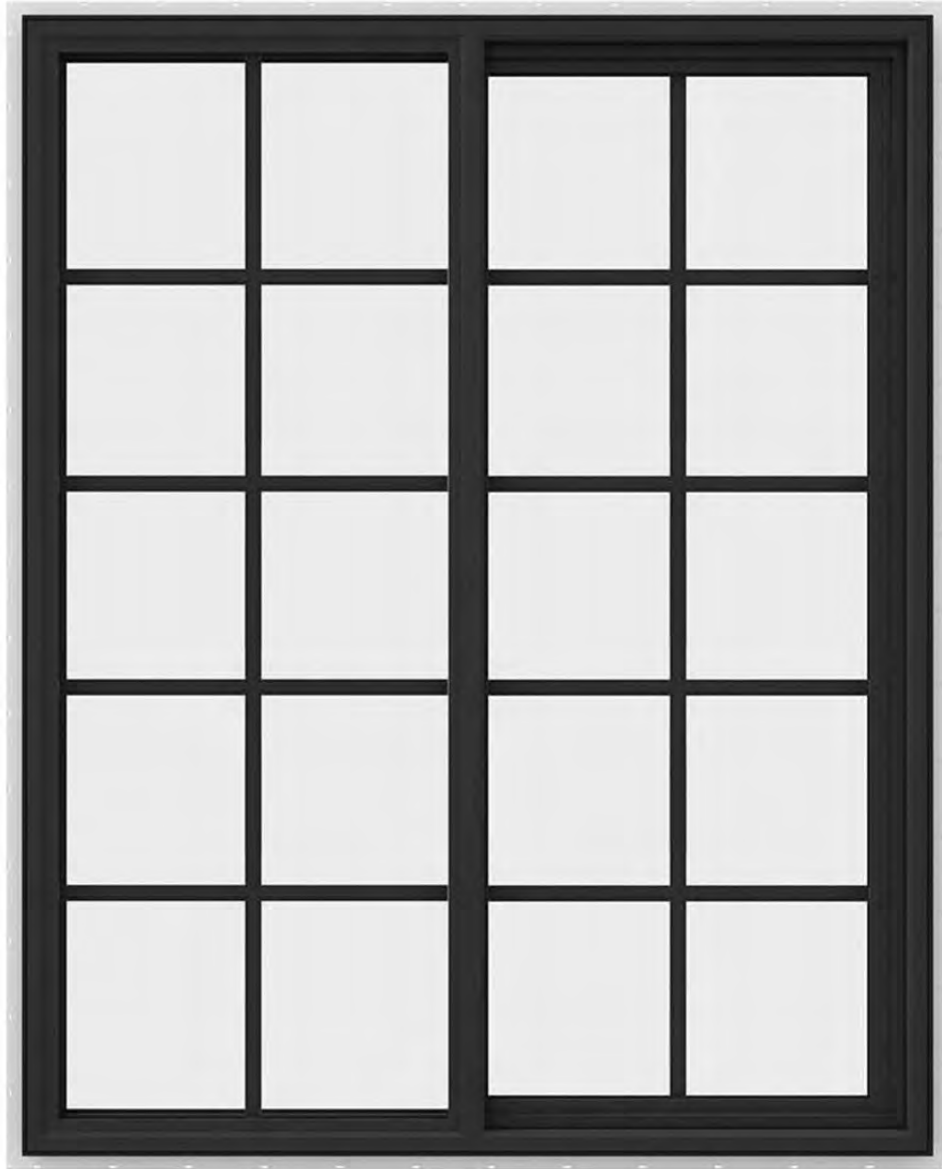
60 in. x 80 in. Internal Grilles Right-Hand Inswing 1/2-Lite Clear Painted Steel Prehung Front Door with Sidelites

Overall unit size: 64.5 in. x 81.75 in. x 4-9/16 in. frame width

- Two 12 “ sidelights and 36” main door



- **48 in. x 65 in. V-4500 Series Vinyl Right-Handed Sliding Window with Colonial Grids/Grilles**



Exterior View

Variance Request Form

Model: <u>LA Corona</u>	Plan: <u>3B</u>	Date: <u>11/15/18</u>
Member Name: <u>145-C</u>	Signature: <u>[Signature]</u>	
Phone: [REDACTED]	E-mail: [REDACTED]	
Contractor Name/Co: <u>GLOBAL BUILDERS</u>	Phone: [REDACTED]	
Mailing Address: [REDACTED] (to be used for official correspondence)		

Description of Proposed Variance Request ONLY:

ENLARGE THE FAMILY ROOM USING part of patio
MOVING WATER HEATER OUTSIDE
DEMO EXISTING SHOWER & TOILETS, BUILDING 2 SEPARATE
WALKIN SHOWERS, ENTIRE FLOORING TO BE LAMINATED
100% WATER PROOF ~~FLOOR~~; INSTALLING NEW CABINETS &
SINK & FIXTURES.

Dimensions of Proposed Variance Alterations ONLY:

REFER TO PROVIDE PLANS & ELEVATIONS



FOR OFFICE USE ONLY

RECEIVED BY: [Signature] DATE RECEIVED: 11/15/18 Check# 3102 BY: Goo

Alteration Variance Request

Check Items Received:

- ☐ Drawing of Existing Floor Plan
- ☐ Drawing of Proposed Variance
- ☐ Dimensions of Proposed Variance
- ☐ Before and After Pictures
- ☐ Other: _____

Complete Submittal Cut Off Date: 11/16/18

Meetings Scheduled:

Third AC&S Committee (TACSC): _____

United M&C Committee: 12/20/18

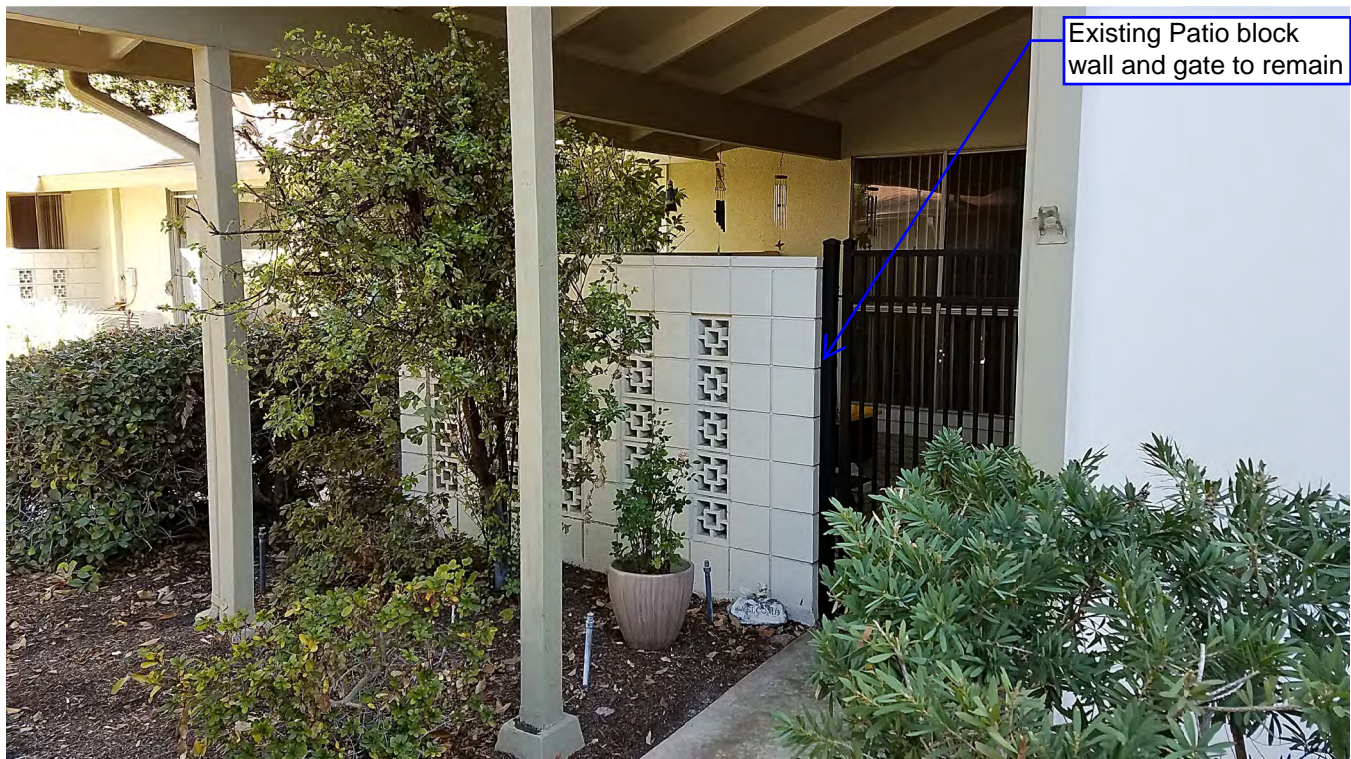
Board Meeting: 1/9/19

☐ Denied ☐ Approved

☐ Tabled

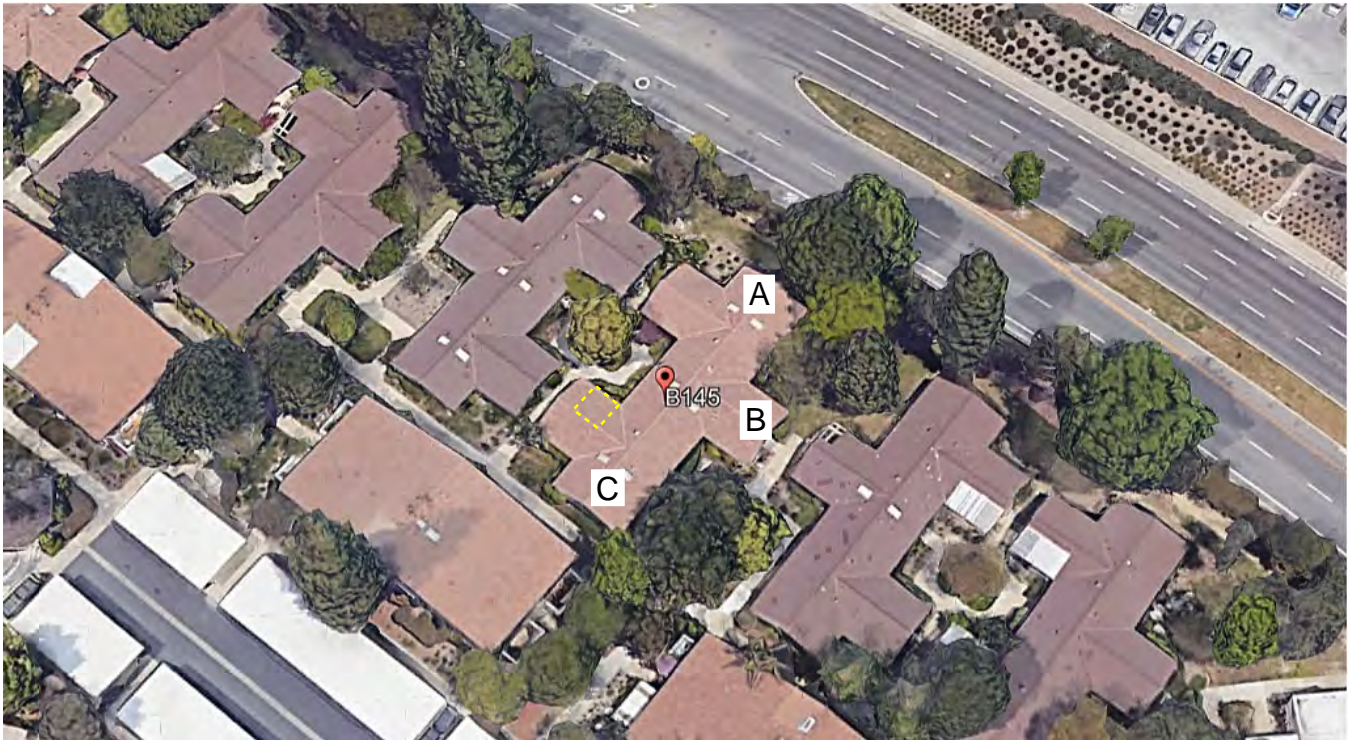
☐ Other
Agenda Item #9 Page 16 of 19

Attachment: 3





Attachment: 4





STAFF REPORT

DATE: December 20, 2018
FOR: Architectural Control and Standards Committee
SUBJECT: Variance Request: Mr. John Fisher of 445-A (La Corona, 3B)
Install Clear Glass Skylights

RECOMMENDATION

Staff recommends the Board approve the request to install clear glass skylights with the conditions as stated in Appendix A.

BACKGROUND

Mr. Fisher of 445-A Avenida Sevilla, a La Corona style unit, requests Board approval of a variance to install two clear glass skylights in the living room ceiling of his unit.

Clear glass skylights are prohibited in the existing Mutual Standard 24: Skylights §2.6:

“Skylights shall be in keeping with the architecture of the building and the lens shall be either off-white or smoke tinted in color. Clear skylights are not acceptable on any roof. All skylights shall match other existing skylights in the manor...”

Policy requires Board approval prior to issuing a Mutual Consent for the alterations.

Plans and specifications have been submitted for review (Attachment 1).

DISCUSSION

Mr. Fisher is requesting to install two 14” wide by 46” long skylights in the living room of his La Corona unit in order to increase the natural light in that area of the unit.

The skylights will be curb mounted and using industry standard materials to ensure insulation and waterproof building code requirements are met. Both skylights would be fitted with operable blackout shades for privacy. The glazing on the proposed skylight meets current building code and Title 24.

There is an existing 2’ wide by 2’ long, white domed skylight located in the master bedroom of the unit. As stated above, §2.6 of the Mutual Standards for skylights requires consistency with all skylights within a unit. Staff recommends approval of the variance request, with an added condition that the existing skylight is modified to have a consistent flat glass finish to match the proposed skylights (see Appendix A).

Currently, there are no open Mutual Consents for Unit 445-A.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes.

A Neighbor Awareness Notice was sent to Units 445-B and 445-C on December 10, 2018, due to sharing common walls, having line of sight, or being potentially affected during construction.

At the time of writing the report, there have been no responses to the Neighbor Awareness Notices.

There were no records found of clear glass skylights being previously requested or approved. Due to an existing Standard for skylight installations, there are no variances for skylights on file.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 455-A.

Prepared By: Gavin Fogg, Alterations Inspector

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager
Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Appendix A: Conditions of Approval
Attachment 1: Site Plans
Attachment 2: Variance Request, November 8, 2018
Attachment 3: Photos
Attachment 4: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of Approval:

1. Existing skylights to unit 455-A are required to be modified so as to match the design of the new skylights as approved by the Board
2. No improvement shall be installed, constructed, modified or altered at Unit **455-A**, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Shareholder s ("Shareholder ") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
3. A Variance for Alterations has been granted at 455-A for **Installing Clear Glass Skylights**, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Shareholder.
4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Shareholder at **455-A** and all future Mutual Shareholders at **455-A**.
5. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
6. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
7. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a

copy of the final permit must be submitted to the Division within two weeks.

8. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Shareholder may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Shareholder's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must be repaired at the Mutual's expense prior to installation.
9. Prior to the issuance of a Mutual Consent for Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "United Laguna Woods Mutual Color Selections" at Resident Services, located at the Community Center first floor.
10. Shareholder hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
11. Shareholder shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Shareholder acknowledges and agrees that all such persons are his/her invitees. Shareholder shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations. Shareholder shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
12. Shareholder is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com>) in place to admit contractors and other invitees.
13. Shareholder's contractors and other invitees shall travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

14. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
15. Prior to the Issuance of a Mutual Consent for Alterations, the Shareholder shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until both a Final Mutual Consent for Alterations and a Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
16. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Shareholder or the Property, to cover and/or recoup any costs whatsoever, including, but not limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Shareholder; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Shareholder's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
17. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Shareholder agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
18. Any remaining Conformance Deposit is refundable if the Shareholder notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Shareholder's address of record with the Mutual. Under no circumstances shall Shareholder be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Shareholder within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
19. All improvements must be installed in accordance with the California State

Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.

21. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
22. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
23. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
24. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
25. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
26. The Mutual Consent for Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
27. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Shareholder. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
28. Mutual Shareholder shall indemnify, defend and hold harmless United and its officers, directors, committee Shareholders and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual Shareholder's improvements and installation, construction, design and maintenance of same.

Existing

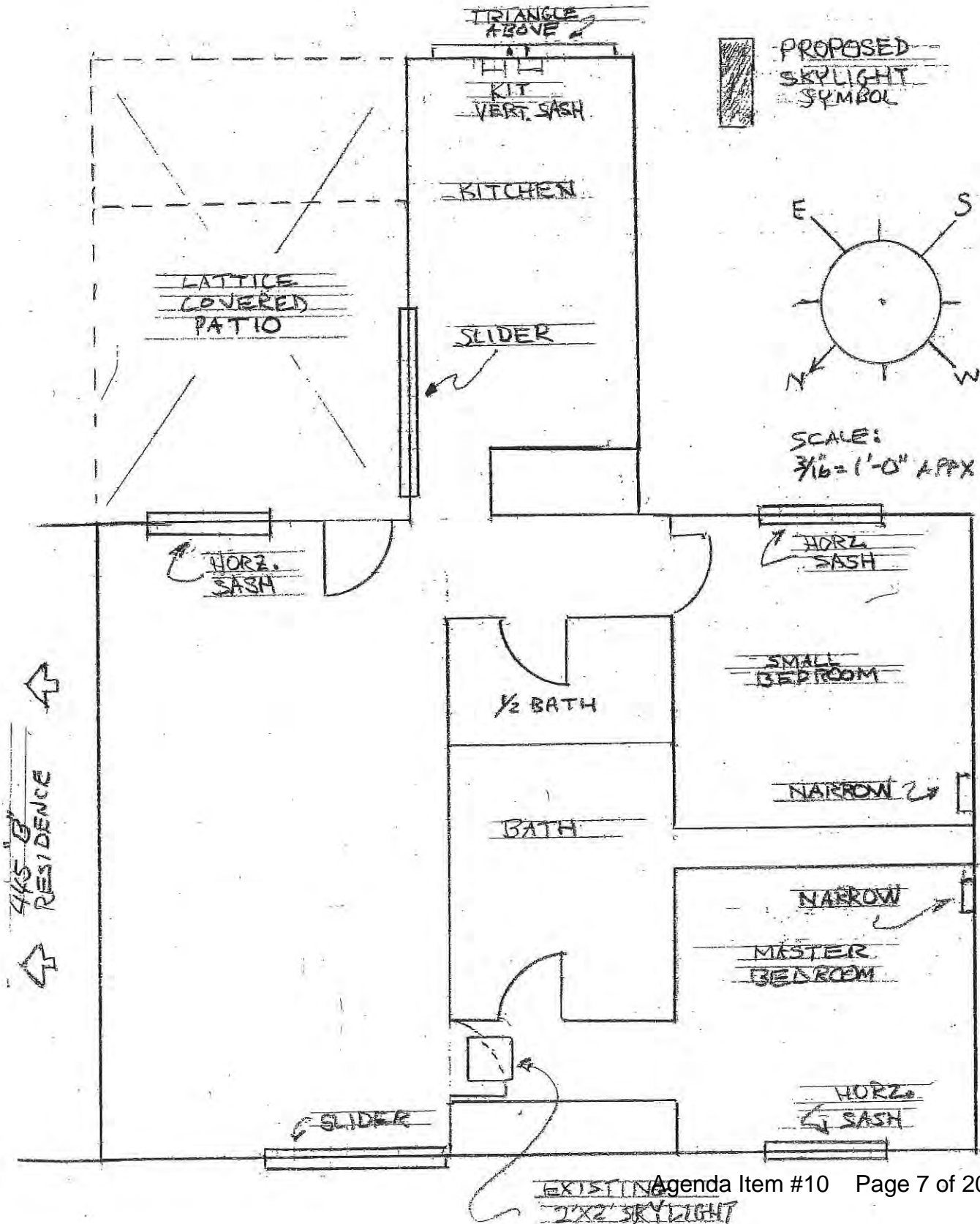
FLOOR PLAN

445 AVENIDA SEVILLA UNIT A

11/2018

JENNIFER & JAMIE MCALLISTER

SKYLIGHTS INSTALLATION PROPOSAL



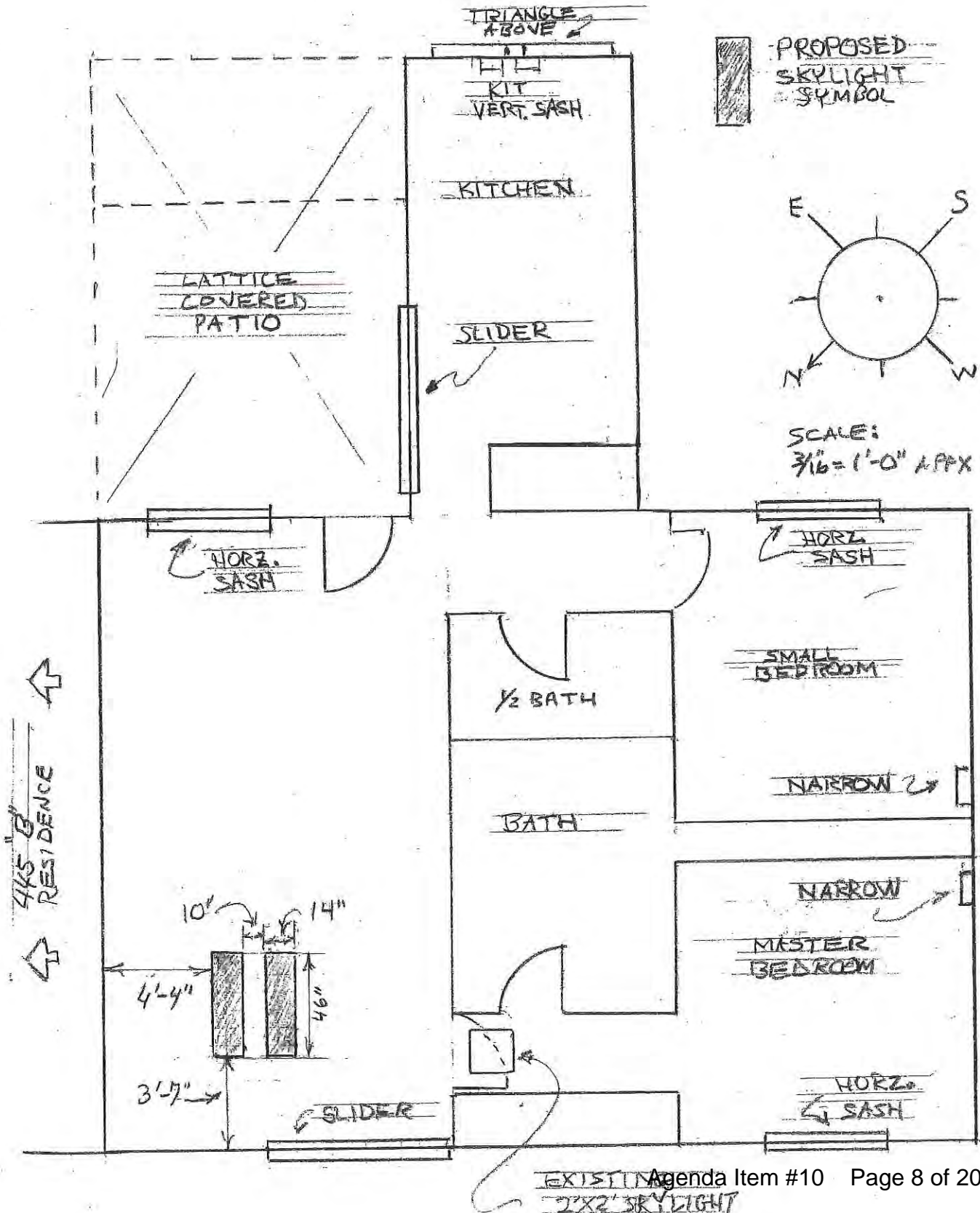
Proposed

FLOOR PLAN

445 AVENIDA SEVILLA UNIT A

11/2018

JOHN FISHER & JAMIE MCALLISTER
SKYLIGHTS INSTALLATION PROPOSAL



FROM VELUX REFERENCE GUIDE 1/31/18

FCM Tested Performance Information								
Glass	04	05 / 05C	06**	08	10	29 / 30	99 93	99 94
Air infiltration/exfiltration* [max. @ 75 Pa (1.57 lbs/ft ²) differential pressure]								
l/s/m ²	0.2	<1	<1	0.2	0.1	0.3	<1	0.2
cfm/ft ²	0.03	<0.01	<0.01	0.03	0.01	0.05	<0.01	0.03
Water resistance @ 3.4 L/m²/min (5 USgal/ft²/hr) * [max. tested differential pressure with no leakage]								
Pascals	720	720	720	720	720	720	720	720
lbs/ft ²	15	15	15	15	15	15	15	15
Thermal performance (Certified, complete unit values)								
<ul style="list-style-type: none"> • VELUX Glass Skylights are rated at 20° slope and labeled with NFRC-certified U-Factor, SHGC, and VT ratings listed in the NFRC Certified Products Directory. • Ratings for products with standard available fitted shades are available. 								
U-Factor (Btu/hr-ft ² -°F)	0.48	0.49 / 0.45	0.46	0.48	0.47	0.38	0.43	0.42
SHGC	0.27	0.27 / 0.28	0.28	0.26	0.28	0.25	0.27	0.27
VT	0.64	0.64 / 0.63	0.63	0.45	0.63	0.58	0.62	0.62
UV protection, % (Glass panel only)								
(300-380 nm)	99.9	95.2	99.9	99.9	99.9	95.2	95.3	99.9
Fading protection, % Krochmann damage function (Glass panel only)								
(300-600 nm)	83.1	79.2	84.6	88.4	83.2	79.2	81.6	85.1
Certified Structural Performance [Performance Grade or DP] *								
Tested Size	Uplift (lbs/ft²)							
4672	80	n.r.	n.r.	80	n.r.	n.r.	n.r.	80
4646	120	140	80	120	135	60	140	120
2270	100	n.r.	n.r.	100	n.r.	n.r.	n.r.	100
Tested Size	Download (lbs/ft²)							
4672	70	n.r.	n.r.	70	n.r.	n.r.	n.r.	70
4646	250	100	100	250	970	75	100	250
2270	200	n.r.	n.r.	200	n.r.	n.r.	n.r.	200
<p>* Tested in accordance with AAMA/WDMA/CSA 101/IS.2/A440-11 (NAFS 2011)</p> <p>** 06 variant is tested and WDMA Hallmark certified for Wind-Borne debris impact, Florida HVHZ : Large Missile Level D, Cycle Pressure +50/-50, tested per TAS 201, 202 and 203 (Wind Zone 4) Large Missile Level C, Cycle Pressure +50/-50, tested per ASTM E 1886 and ASTM E 1996</p> <p>Structural performance ratings also apply to sizes smaller than the Tested Size FCM skylights are WDMA Hallmark certified: Product Number 426-H-70Lxx</p> <p>04 glass: Tempered over laminated HS (0.030" interlayer) 05 glass: Tempered over tempered; 05C for Canada has a smaller pane gap 06 glass: Tempered over laminated HS (0.090" interlayer) 08 glass: Same as 04, with white interlayer 10 glass: Temp. over laminated temp. (0.030" interlayer) 29 glass: Tempered over tempered over laminated HS (0.030" interlayer) 30 glass: Tempered over tempered over tempered 99 93 glass: Same as 05, with i89 coating on interior surface 99 94 glass: Same as 04, with i89 coating on interior surface</p>								
NOTE: The FCM 4646 (or smaller) 06 is the only VELUX glass skylight currently qualified for use in the Florida HVHZ (High Velocity Hurricane Zone).								

Fixed Curb-Mounted No Leak Skylight - FCM

- Maintenance free frame
- No designated top, bottom or sides - can be installed in any direction
- White laminated glass available for applications where diffused lighting is required
- Factory-installed blinds available

FROM VELUX
REFERENCE GUIDE
3/5/18

No Leak
Warranty

For complete information visit
thelookskylight.com

VELUX flashing
required

Sample Ordering Code:
without blinds

FCM - 1430 - 0004
Model Size Product Code

Size Code		1430	1446	2222	2230	2234	2246	2270	3030	3046	3434	3446	4646
Inside curb (W" x H")		14 1/2 x 30 1/2	14 1/2 x 46 1/2	22 1/2 x 22 1/2	22 1/2 x 30 1/2	22 1/2 x 34 1/2	22 1/2 x 46 1/2	22 1/2 x 70 1/2	30 1/2 x 30 1/2	30 1/2 x 46 1/2	34 1/2 x 34 1/2	34 1/2 x 46 1/2	46 1/2 x 46 1/2
Outside curb (W" x H")		17 1/2 x 33 1/2	17 1/2 x 49 1/2	25 1/2 x 25 1/2	25 1/2 x 33 1/2	25 1/2 x 37 1/2	25 1/2 x 49 1/2	25 1/2 x 73 1/2	33 1/2 x 33 1/2	33 1/2 x 49 1/2	37 1/2 x 37 1/2	37 1/2 x 49 1/2	49 1/2 x 49 1/2
Maximum skylight clearance (W" x H")		18 5/8 x 34 5/8	18 5/8 x 50 5/8	26 5/8 x 26 5/8	26 5/8 x 34 5/8	26 5/8 x 38 5/8	26 5/8 x 50 5/8	26 5/8 x 74 5/8	34 5/8 x 34 5/8	34 5/8 x 50 5/8	38 5/8 x 38 5/8	38 5/8 x 50 5/8	50 5/8 x 50 5/8

FCM Skylight Pricing

Can be installed in any direction

Clean, Quiet & Safe Glass (For out-of-reach applications)

Clean



Features Neat* glass coating to keep your skylight cleaner longer, leaving skylights virtually spotless

Quiet



Reduce unwanted outside noise by up to 25% compared to a standard double pane glass, and up to 50% compared to a plastic skylight

Safe



VELUX recommends and building codes require laminated glass for out-of-reach applications

Glass Type	Factory-installed blinds available	Product Code	1430	1446	2222	2230	2234	2246	2270	3030	3046	3434	3446	4646	Delivery
Laminated LowE3	Yes	0004	*T*	*T*	*	*	*	*	*A	*	*	*	*	*	S
Impact	"T" Only	0006	Call	Call	*T	Call	Call	*T	Call	Call	Call	Call	N/A	*T	N
White laminated	Yes	0008	Call	Call	*B	Call	*A	*B	*B*	*A	*A	*B	N/A	*B*	N
Triple pane laminated	No	0029	Call	Call	*	Call	Call	*	N/A	Call	Call	Call	N/A	*	F

*Factory-installed blinds not available

For in-reach applications

Glass Type	Factory-installed blinds available	Product Code	1430	1446	2222	2230	2234	2246	2270	3030	3046	3434	3446	4646	Delivery
Tempered LowE3	Yes	0005	*A	*A	*	*	*	*	*A	*	*	*	*	*	S

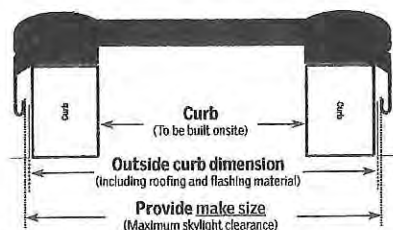
*Factory-installed blinds not available

Flashing Systems

VELUX flashing required for No Leak Warranty

Description	Roofing Material	Roof Pitch	Product Code	1430	1446	2222	2230	2234	2246	2270	3030	3046	3434	3446	4646	Delivery
Step flashing with adhesive underlayment	Asphalt shingles, wood shakes and flat tile (under 3/4 inch thickness)	10°-60°	ECL 0000C	*	*	*	*	*	*	*	*	*	*	*	*	S
High profile flashing with adhesive underlayment	Tile (over 3/4 inch thickness)	14°-60°	ECW 0000C	*	*	*	*	*	*	*	*	*	*	*	*	S

Custom size Fixed Curb-Mounted Skylights - Custom FCM



Make size (W" x L")	Width 18 1/4" To 50 1/4"
Height 18 1/4" To 72"	Now delivered in 8-14 days
Height 72 1/4" To 76 1/2"	Now delivered in 20 days or less

We require maximum skylight clearance dimensions in 1/4" increments (0, 1/4, 1/2, 3/4) for width and height.

Note: Custom size flashing kits and custom size blinds are not available.
Note: Some specialty glass options require longer lead times.

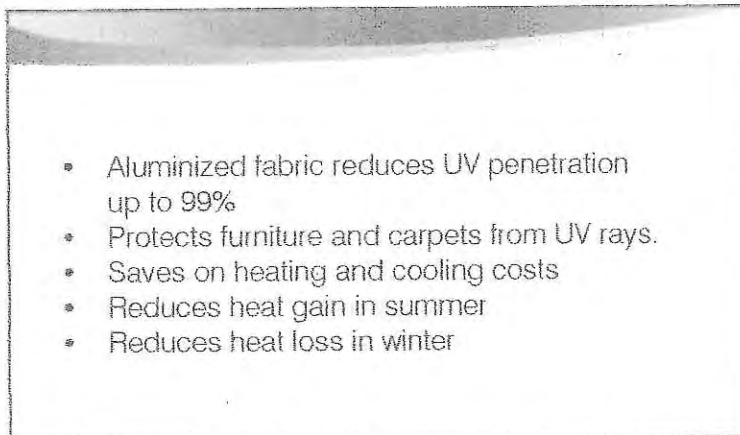
Please call for pricing and availability.
1-800-888-3589

Motorized Skyview Shades® by Wilco Products

Offering Complete Skylight, Sunroom and Window Shading Solutions



- Easy to operate
- Increases year round comfort and puts you in control
- Softly filters sunlight
- Cuts light and harsh glare



- Aluminized fabric reduces UV penetration up to 99%
- Protects furniture and carpets from UV rays.
- Saves on heating and cooling costs
- Reduces heat gain in summer
- Reduces heat loss in winter



- Black out and light filtering fabrics
- Absorbs sounds and reduces outside ambient noise
- Manufactured with high quality aluminum extrusions and permanently pleated polyester fabrics

Skyview Shades®
by Wilco Products L.L.C.

5 year
Warranty



Flexible Control Options

Our motorized skylight shades feature Radio Technology Somfy® (RTS), which provides convenience in operating your shades individually or as a group. Our wide range of control options include:



- Hand-held transmitters
- Wireless wall switches
- Automatic timer control
- Sun-activated sensors control
- Home automation system interface

Tellis 1 RTS



Tellis 4 RTS



Tellis 16 RTS



DecoFlex WireFree™
Wall Switch



Available in 1
and 5 channel

Chronis RTS
Timer



Schedule shades to
operate automatically

Indoor Sunis RTS



Automatically adjusts
motorized skylight via
sunlight intensity

URTSI



Easily integrate with
home automation and 3rd
party control systems

Adaptable Power Sources

The convenience of motorized skylight shades goes beyond the user the experience and vast control options, we've also considered the simplicity required for installation and offer various solutions to accommodate any power requirements.

Solar Power Kit

The WireFree™ solar pack harnesses renewable solar energy to power WireFree™ motorized window coverings. This easy to install power option is compatible with all motorized Skyview™ shades and replaces the traditional lithium battery option.

- Patented energy saving technology uses sunlight to power motorized Skyview™ shades
- Convenient and cost effective-eliminates battery replacement and preserves the environment
- Low profile solar (photovoltaic) panel is discreet and easy to conceal
- Wireless and maintenance-free solution that doesn't require the use of an electrician



Reloadable Battery Tubes

All motorized Skyview™ shades have the option to use a single reloadable battery tube or a dual reloadable battery tube.

- The single tube option uses 8 AA lithium batteries
- The dual reloadable battery tube features two single re-loadable battery tubes joined together with a cable and harness, using a total of 16 AA lithium batteries
- Dual battery tubes offer the opportunity to extend the battery life therefore reducing the frequency of battery replacement
- Both offer the convenient feature of being able to simply unscrew the tube to replace batteries as needed.
- Lithium batteries required.

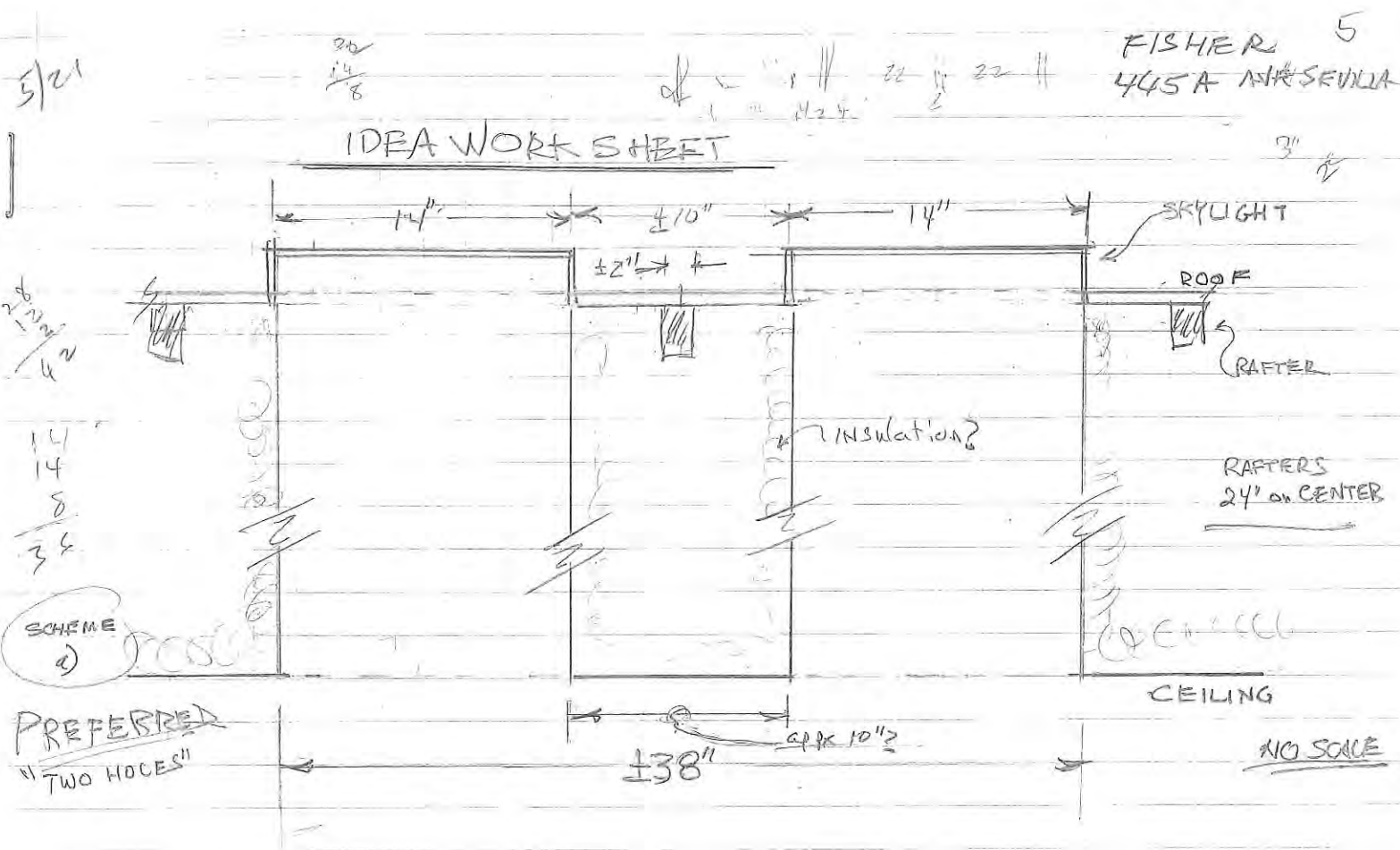


Plug-In Transformer

Any Skyview™ motorized shade can be easily converted to a plug-in system with the use of a transformer. The transformer simply plugs directly into any standard electrical outlet and provides a maintenance-free solution for powering motorized window coverings.




To learn more about our various motorized skylight shade solutions, visit us at www.skyviewshades.com. Or call for a consultation.



Imperial Picture Window (PW)





National Fenestration Rating Council®

CERTIFIED

Premium Windows & Doors

Manufacturer of high quality vinyl windows and doors

Imperial PW

Vinyl Frame • Dual Glaze

Low-E366 • Argon Fill • W/3/4" Grid

PMW-A-8-00006-00002

ENERGY PERFORMANCE REVIEW	
U-Factor (U.S./I-P)	Solar Heat Gain Coefficient
0.27	0.22
ADDITIONAL PERFORMANCE RATING	
Visible Transmittance	Condensation Resistance
0.52	60

Manufacturer stipulates that these ratings conform to applicable NFRC procedure for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any product and does not warrant the suitability of any product for any specific use. Consult manufacturer's literature for other product performance information.

www.nfrc.com

IMPORTANT

Premium Windows manufactures your product using the highest quality materials & hardware. We take pride in workmanship, & when properly used & maintained, you can rest assured that you will get years of like-new performance from your product. Premium products are designed to provide you with trouble free operation if properly installed.

USE AND CARE:

- The lower channel & track rail must be kept clean & free of dirt & debris.
- Clean glass & material surfaces with a mild soapy solution & rinse clean with water.
- Screens may be vacuumed to remove dust or may be washed with a soft brush, mild soap & rinsed

DO NOT USE:

- High performance chemicals
- Steel wool
- Wire brushes
- Corrosive materials
- Abrasive cleaners
- Petroleum solvents

WARNING

Due to variations of size & products, we highly recommend that you use proper lifting techniques & sufficient manpower to lift, carry, & install your product(s). Please refrain from using any oil based lubricants & foams, as well as petroleum based, corrosive materials, or chemicals on your insulated glass surfaces or vinyl. Using these chemicals may damage the vinyl material and/or insulating glass which will void any warranties that may exist.

THANK YOU FOR SELECTING
PREMIUM WINDOWS & DOORS



CITY OF LAGUNA WOODS

BUILDING DIVISION

INSPECTION REQUEST: (949) 639-0500

*** Requests MUST be received prior to 4 p.m. for next day inspection.

Job Address: **4455-A AVENIDA SEVILLA**

Description of Work: **REMODEL 2 WINDOWS DOWN STAIRS 2 BATH TUB TO SHOWER REMODEL KITCHEN REMOVING 2 WALL HEATERS**

Building Permit # **450988 C**

Mechanical:

Electrical:

Plumbing:

Owner: **ULWM**

Contractor: **ANDY MIERZWA**

Issue Date: **11-23-15** Type of Construction

At the time of Permit issuance, a copy of the Permit is also sent to the county assessors office. Failure to take "Final Inspection" within prescribed time frame will result with permittee paying "a new full permit fee".

Misc. Inspections	Date	Inspector
Pad Footings		
Grade Beams		
Epoxy Bolts		
Notes		

Revised 2.2014 mc

ALL WORK SHALL BE INSTALLED per the 2013 CRC, CMC, CEC, CPC

Residential Addition / Remodel

INSPECTION REQUEST: (949) 639-0500

ALL WORK SHALL BE INSTALLED per the 2013 CRC, CMC, CEC, CPC

Building / Site Inspections

Building / Site Inspections	Date	Inspector
Asbestos Documentation		
Backwater Valve (If Required)		
UFER Ground in Footing		
Sewer Lateral w/ Test		
Track & Ledger		
Radiant Barrier		
Roof Deck Nailing - All Roof Penetrations, Attic Vents, Boundary Nailing		
Exterior Shear & Hardware - Shear Transfers shall Extend to Floor/ Roof Diaphragm		

Combination Inspection

The Roof & Exterior Walls need to be Weathertight and ALL of these items are to be ready at the time of this inspection

Combination Inspection	Date	Inspector
Rough Framing - Per Plans		
Windows (Leave Labels On)		
Rough Electrical (Per CEC) Cable W/ 1 1/4" of Stud Face Protected		
Grounding Electrode Conductors - Ground Rod/ Bond Water & Gas		
Rough Mechanical (Per CMC) HVAC, Ducts, Misc. / HERS Test		
Access/ Platform/ Light/ Switch/ Outlet		
Rough Plumbing All Pipes Filled & Protected (Top-Out)/Water Piping		
Insulation Baffle for Eave Vents		
Fire Blocking/Caulking in Place		
Tub-Shower (Wet Wall)		
Exterior Lath (Seal All Penetrations) (No Scratch & Brown Inspections)		
Shower Pan/Sloped/Filled/Damp		

General List of Final Inspection Items (Other Items May Apply)

General List of Final Inspection Items (Other Items May Apply)	Final
Label All Breakers	
Sub Panel - Isolate Neutrals	
Recheck Attic Installations	
B-Vent Terminations	
ALL Fixtures Installed & Sealed	
Paint Exterior Exposed Pipes	
Smoke/ CO Detectors Installed	

Final Inspection

Date / Inspector **4/8/16 RY**

Job Completed Please retain this card for your records

JOB CARD

CITY OF LAGUNA WOODS
BUILDING DIVISION

INSPECTION REQUEST: (949) 639-0500
*** Requests MUST be received prior to 4 p.m. for next day inspection.

Job Address: 445-A AVE SEVINA
Description of Work: Skylight work

Building Permit # 49935A

Mechanical:
Electrical:
Plumbing:

Owner: John Fisher
Contractor: Skylight Specialists
Issue Date: 10/26/16 Type of Construction: VB

At the time of Permit issuance, a copy of the Permit is also sent to the county assessors office. Failure to take "Final Inspection" within prescribed time frame will result with permittee paying "a new full permit fee."

Misc. Inspections Date Inspector
Footings
Grade Beams
Embed Bolts
Notes

Revised 2.2014 mc

FILED w/ GRF 7/5/17

With each called inspection > Have PLANS & JOB CARD located near site of inspection.

Residential Addition / Remodel

INSPECTION REQUEST: (949) 639-0500

ALL WORK SHALL BE INSTALLED per the 2013 CRC, CMC, DEC, CPC

Building / Site Inspections

Prior to Backfill/Concrete Pour	Building / Site Inspections	Date	Inspector
	Asbestos Documentation <input type="checkbox"/>		
	Backwater Valve (If Required) <input type="checkbox"/>		
	UFER Ground in Footing <input type="checkbox"/>		
	Sewer Lateral w/ Test <input type="checkbox"/>		
	Track & ledger <input type="checkbox"/>		
	Radiant Barrier <input type="checkbox"/>		
	Roof Deck Nailing - All Roof Penetrations, Attic Vents, Boundary Nailing <input type="checkbox"/>		
	Exterior Shear & Hardware - Shear Transfers shall Extend to Floor/ Roof Diaphragm: <input type="checkbox"/>		

Combination Inspection

The Roof & Exterior Walls need to be Weathertight and ALL of these items are to be ready at the time of this inspection

Prior to Covering Walls	Combination Inspection	Date	Inspector
	Rough Framing - Per Plans <input type="checkbox"/>		
	Windows (Leave Labels On) <input type="checkbox"/>		
	Rough Electrical (Per CEC) Cable W/ 1 1/4" of Stud Face Protected <input type="checkbox"/>		
	Grounding Electrode Conductors - Ground Rod/ Bond Water & Gas <input type="checkbox"/>		
	Rough Mechanical (Per CMC) HVAC, Ducts, Misc. / HERS Test <input type="checkbox"/>		
	Access/ Platform/ Light/ Switch/ Outlet <input type="checkbox"/>		
	Rough Plumbing All Pipes Filled & Protected (Top-Out)/Water Piping <input type="checkbox"/>		
	Insulation Baffle for Eave Vents <input type="checkbox"/>		
	Fire Blocking/Caulking in Place <input type="checkbox"/>		
	Tub-Shower (Wet Wall) <input type="checkbox"/>		
	Exterior Lath (Seal All Penetrations) (No Scratch & Brown Inspections) <input type="checkbox"/>		
	Shower Pan/Sloped/Filled/Dam <input type="checkbox"/>		

General List of Final Inspection Items (Other Items May Apply)

Prior to Cover of Fasteners	General List of Final Inspection Items (Other Items May Apply)	Date	Inspector
	Label All Breakers <input type="checkbox"/>		
	Sub Panel - Isolate Neutrals <input type="checkbox"/>		
	Recheck Attic Installations <input type="checkbox"/>		
	B-Vent Terminations <input type="checkbox"/>		
	ALL Fixtures Installed & Sealed <input type="checkbox"/>		
	Paint Exterior Exposed Pipes <input type="checkbox"/>		
	Smoke/ CO Detectors Installed <input type="checkbox"/>		

Planning Final

Final Inspection

Job Completed Please retain this card for your records

Date 11/9/16 Inspector Day

MANOR # 445-A☒ ULWM☐ TLHM

Variance Request Form

SA

Model: <u>La Corona</u>	Plan: <u>3B</u>	Date: <u>NOV 8, 2018</u>
Member Name: <u>JOHN R. FISHER</u>	Signature: <u>[Signature]</u>	
Phone: <u>[REDACTED]</u>	Email: <u>[REDACTED]</u>	
Contractor Name/Co:	Phone:	Email:

Description of Proposed Variance Request ONLY:

Install 2 skylights in living room area.

Dimensions of Proposed Variance Alterations ONLY:

2x 14" x 46"

FOR OFFICE USE ONLY

 RECEIVED BY: JR DATE RECEIVED: 11/08/18 Check# 4488 BY: John Fisher

Alteration Variance Request Check Items Received: <input checked="" type="checkbox"/> Drawing of Existing Floor Plan <input checked="" type="checkbox"/> Drawing of Proposed Variance <input checked="" type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____	Complete Submittal Cut Off Date: Meetings Scheduled: Third AC&S Committee: _____ United AC&S Committee: <u>12-20-18</u> Board Meeting: <u>1-8-19</u> <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other: _____
---	---

--PROPOSAL--

INSTALLATION OF
TWO TINTED GLASS SKYLIGHTS
445 AVENIDA SEVILLA UNIT A
"LA CORONA"

Project Description:

GENERAL AND NEED. Install two 14"X46" skylights in the darkest corner of the living room area. Outside light only indirectly reaches this area from the slider on the adjacent exterior wall; none from the next interior adjacent wall (the divider from the B living unit); none from the interior wall with the bathrooms behind; and a little from the far opposite exterior wall (which opens onto the lattice covered patio which is eternally shaded by the nature of its construction). (Location and arrangement are shown in "Floor Plan" drawing attached).

SKYLIGHTS' LOCATION. The skylights are located to be oriented parallel to the rafters and fitted between the rafters. The project calls for two separate wells, each approximately the same size as the skylight and at least 10" apart depending on how they fit with existing structure. The increased well-wall area will reflect more and diffuse light inward, while allowing the psychological satisfaction of viewing the clouds in the sky at times. There will be no molding surrounding the interior openings. The ceilings where the openings are is about 8' from the floor.

BLACK-OUT SHADES. Each skylight will be fitted with a remotely controllable black-out shade. They will be mounted near the glass to reduce the volume of the chamber created when they are closed.

TYPE OF GLASS AND FRAMES. We have selected Velux brand clear gray-tinted glass to be used, designated "04" in techsheets and catalogs. It is high quality laminated and tempered, UVA and B blocking, "clean quiet and safe", and with appropriate LoE3, U-factor, and SHGC ratings. (See accompanying Velux Technical Specification Sheets.) The metal frames will be fixed, curb type construction consistent with Village standards.

ENERGY CONSIDERATIONS. All the sliders and fenestration were installed new during the remodel of the unit that was finished just before we arrived on May 12, 2016. (See City Job Card and manufacturer's Window and Door certification sticker from Premium Windows and Doors.) I estimate (using rough measurements) that our entire unit has <19.45% fenestration, including sliders. The living room area walls vs. fenestration is about 13.58% fenestration. I do not know anything about the insulation ratings of the walls or the roof. The skylight wells will be covered with inches thick pink insulation on the attic side.

SUN DIRECTION. The long dimension of our building is oriented within a few degrees of a line drawn NE to SW. This means that the plane of the roof over the living room where the skylights

will be faces NW, as does the slider and the sash window in the Master Bedroom. The bedrooms' narrow tall windows face SW; the sash windows of the small bedroom and living room face SE along with kitchen windows; and the kitchen slider faces NE. Because Laguna Woods is situated North enough, the Sun never passes directly overhead.

PREVIOUS SKYLIGHTS. In October 2016 we had a 2X2 white domed skylight installed in the Master Bedroom hallway (just opposite the door to the bathroom) to help light the closet there. We are prepared to have it modified to a flat material more to our preference of lighting and for exterior appearance. There is no other skylight on our section of the roof. On the other side of the center (B) unit's kitchen roof, there is a typical 2X4 dome in the area of the bathroom. There are no other skylights installed elsewhere on the building.

PRIVACY. We understand a clear-tinted skylight can reveal the contents and occupants underneath. There is no neighbor high enough to see through the skylight and we are prepared to deal with and live with the occasional maintenance workman who might have to go on the roof. And, just like an ordinary window, we can close the shades.

Project Support Information:

NEW WINDOW AND SLIDER DIMENSIONS. (All units of the same style are the same size; i.e. both the living room and kitchen sliders are the same size. Measurements given W X T.)

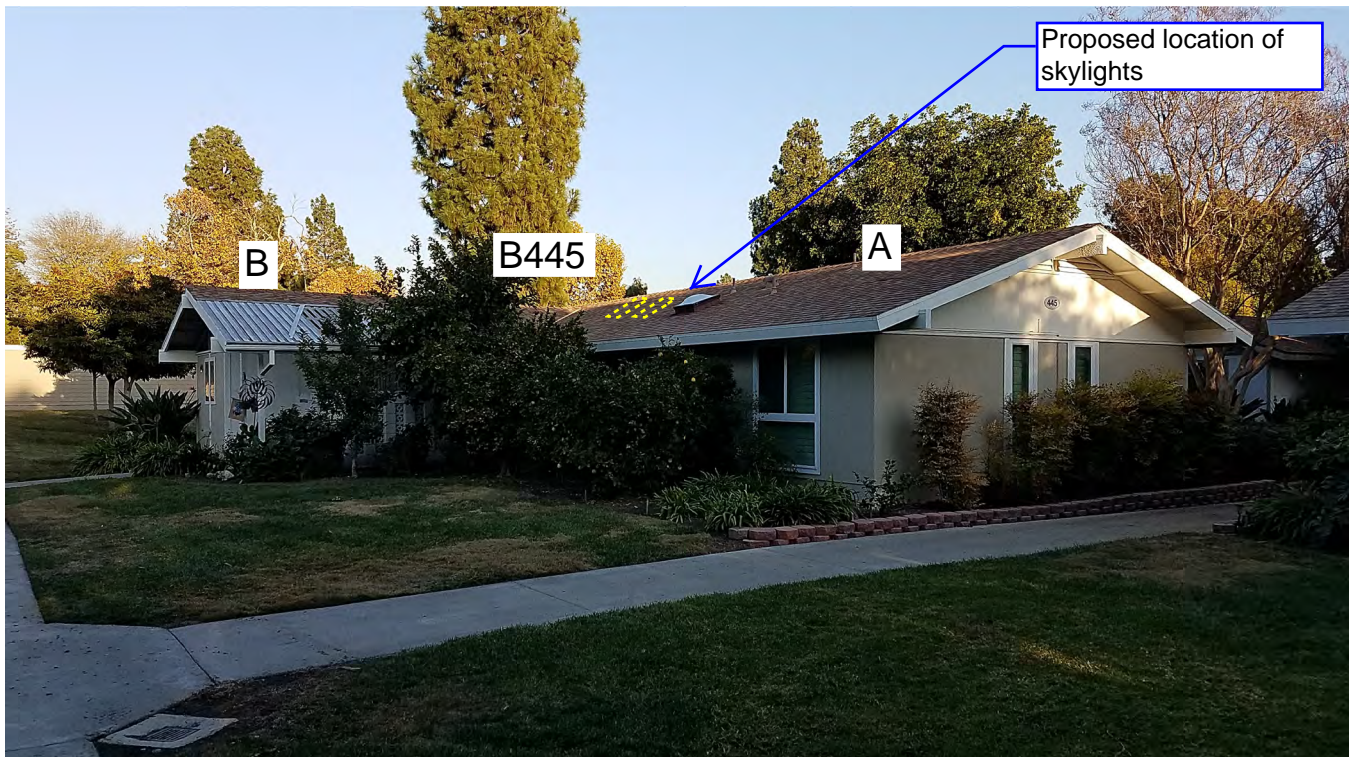
2xSliders: 7'-2" X 6'-0"	3xHorz. Sashes: 4'-9" X 6'-4"
2xNarrow BedRms: 1'-4" X 6'-0"	2xKit. Vert.Sashes: 0'-11" X 1'-2" (2@)
1xKit. Triangle 6'-0" X 4'-0" (Right triangle divided vertically at center by post \pm 1'-0" thick.)	

SUN DIRECTION. Information was derived from the Sun or Moon Altitude/Azimuth Table online from the Astronomical Applications Dept., U.S. Naval Observatory.
(<http://aa.usno.navy.mil/data/docs/AltAz.php>)

DOCUMENTS ACCOMPANYING. (Copies):

1. Floor Plan showing location of proposed skylights and existing fenestration, etc.
2. Velux Tested Performance Information. Gray-tinted Glass "04" is the type we selected.
3. Velux Reference Guide page for curb mounting, glass, sizes, etc
4. Wilco Skyview motorized shade details. (2 pages)
5. Hand-drawn "idea" sketch of proposed positioning of skylights within rafters
And NFRC certificate of newly installed windows and sliders; all are the same.
6. City Job Card for remodel project done prior to our moving in to unit.
7. City Job Card for 2X2 skylight we installed in Nov, 2016 in Master Bedroom hallway

Attachment: 3



Attachment: 4





~~UNITED LAGUNA WOODS MUTUAL~~

SECTION STANDARD 22: PATIO SLABS~~EXTENSIONS~~

MAY 1996, RESOLUTION U-96-62

GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104
GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08
REVISED FEBRUARY 2019, RESOLUTION 01-19-XXX

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

- 1.1 PERMITS AND FEES:** ~~A Mutual Consent for Manor Alterations is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his contractor. Member and/or his contractor must supply the Manor Alterations Department with City permit numbers prior to beginning work.~~
- 1.2 MEMBERS RESPONSIBILITY:** ~~The Member is solely responsible for the maintenance and repair of all alterations to the building. Removal may be required upon sale of a manor, or deterioration of the alteration. Further, Member(s) are expected to provide neighboring residents an estimated timeline for construction, and advance notice of excessive construction-related noise that may occur.~~
- 1.3 CODES AND REGULATIONS:** ~~All work shall comply with applicable local, state, and federal requirements including but not limited to the current edition of the Uniform Building Code.~~
- 1.4 WORK HOURS:** ~~Contractors working for residents at individual manors and in carports are permitted to work from 9:00 AM—5:00 PM Monday through Friday. No work whatsoever shall be permitted on Saturday and Sunday, and construction is restricted to 6 months out of every 12 months of the year.~~



- ~~1.5 **PLANS:** The Member applying for a Mutual Consent for Manor Alteration(s) shall provide to the Manor Alterations Department a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~
- ~~1.6 **DUMPSITES:** The premises shall be kept free from accumulation of waste materials and/or rubbish caused by the construction work. Member and/or his contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's dumpsters, if required, must have location approved by the Manor Alterations Department.~~
- ~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor(s), their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

2.0 APPLICATIONS

- 2.1 Patio concrete slab must be at least 4" nominal thick and test at [520-C-2500 concrete](#) within 28 days. [Wire mesh reinforcing \(6x6 10-10\)](#) is mandatory.
- 2.2 Patio concrete shall be placed on 4" aggregate base over compacted subgrade.
- 2.3 For non-bearing slabs reinforcement shall be WWF 6x6; for load bearing slabs reinforcement shall be as designed by a licensed engineer.
- 2.4 For slabs poured against existing non-structural concrete, #3 dowels shall be epoxied into existing concrete 18" O.C.
- 2.5 Slabs larger than 15' x 15' shall have control joints.
- 2.6 Patios shall have a non-slip troweled or broom finish.



- 2.7 Any unit wherein a wall or partial wall limits the extent of the original size of the slab, ~~will not be no~~ extension ~~ionded~~ in any direction will be permitted.
- 2.8 Patios which have planting or dirt areas inside the defined patio walls may be replaced with a concrete slab, providing it does not extend beyond the wall.
- 2.9 No slab extension may encroach into common area.
- 2.10 All installations must have a minimum slope of ¼" per foot and drain to drain inlets or landscaping.

3.0 **PREPARATIONS**

- 3.1 In each case, an inspector will visit the site prior to work, for adjustments pertaining to this section.
- 3.2 No slab extension will be allowed that will restrict ~~yard~~ drainage.
- 3.3 No slab extension will be allowed in areas where access for maintenance is required.
- 3.4 In no case will concrete be placed over sprinklers, sprinkler lines, or other related items.
- ~~3.5 No slab extensions will be allowed that may encroach upon a view of a neighboring manor as determined by the Manor Alterations Department.~~



4.0 SPRINKLER REVISIONS

- 4.1** Sprinklers will be relocated as necessary only by VMS landscape crews, and the cost of such relocations shall be at the cost of the resident owner of that unit.
- 4.2** No sprinklers will be placed inside any patio area by VMS landscape crews. Any systems added shall not be connected to the Mutual-owned system.



~~UNITED LAGUNA WOODS MUTUAL~~

~~SECTION 25~~STANDARD 25: TUBULAR SKYLIGHT INSTALLATIONS

SEPTEMBER 1995

REVISED SEPTEMBER 2003, RESOLUTION 01-03-131

GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104

GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08

REVISED FEBRUARY 2019, RESOLUTION 01-19-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

- ~~1.1 — **PERMITS AND FEES:** A Mutual Consent for Manor Alterations Department is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his contractor. Member and/or his contractor must supply the Manor Alterations Department with City permit numbers prior to beginning work.~~
- ~~1.2 — **MEMBERS RESPONSIBILITY:** The Member is solely responsible for the maintenance and repair of all alterations to the building. Removal may be required upon sale of a manor, or deterioration of the alteration. Further, Member(s) are expected to provide neighboring residents an estimated timeline for construction, and advance notice of excessive construction-related noise that may occur.~~
- ~~1.3 — **CODES AND REGULATIONS:** All work shall comply with applicable local, state, and federal requirements including but not limited to the current edition of the Uniform Building Code.~~
- ~~1.4 — **WORK HOURS:** Contractors working for residents at individual manors and in carports are permitted to work from 9:00 AM — 5:00 PM Monday through Friday. No work whatsoever shall be~~



~~permitted on Saturday and Sunday, and construction is restricted to 6 months out of every 12 months of the year.~~

~~1.5 **PLANS:** The Member applying for a Mutual Consent for Manor Alteration(s) shall provide to the Manor Alterations Department a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~

~~1.6 **DUMPSITES:** The premises shall be kept free from accumulation of waste materials and/or rubbish caused by the construction work. Member and/or his contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's dumpsters, if required, must have location approved by the Manor Alterations Department.~~

~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~

~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor(s), their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

2.0 DEFINITION

2.1 "Tubular skylight" refers to skylights with a cylindrical roof-mounted light collector typically consisting of an acrylic lens set in a metal frame. A reflective sun scoop in the rooftop assembly directs sunlight into a metal or plastic tube with a highly reflective interior coating. The reflective tube guides sunlight to a diffuser lens mounted on the interior ceiling surface that spreads light throughout the room.

2.2 Tubular skylights are sold under several different brand names. For the purpose of definition, some of the more common brand names include: Solatube, Daylight, Solar Bright, Sun-Dome, Sun-Tek, True Light, etc.



3.0 **APPLICATIONS**

- 3.1 Tubular skylight installer shall guarantee in writing, the watertight integrity of the skylight, tube and related roof area for 5 years from date of installation, and shall repair, without charge to owner, any such defects.
- 3.2 All roofing work shall be in strict conformance with current building codes and any applicable Mutual Standard Drawings.
- 3.3 No units shall be installed with the edge of the tubular skylight flashing within 12" of any vent, ridge or vertical structure.
- 3.4 Hypalon skirts will not be permitted as acceptable flashings.
- 3.5 All installations in flat roofs shall be as follows: PVC Cool roof, the skylight contractor must hire the Mutual roofing contractor to complete the tie-in to the roof deck.
 - a. Spud back the perimeter around the flashing edge a minimum of 10" and maximum 14", leaving roof surface smooth and gravel-free for primer and base felt application.
 - b. Apply *Conprime asphalt primer to flashing and scraped/spudded roof surface and let dry.
 - c. Apply Roofing Mastic to base of flashing per manufacturer's specifications and press in place. Nail aluminum base through raised surface of outer ring, 10 inches on center.
(First Ply/Base Ply)
 - d. Apply *Conhesive at the rate of 2 gallons per 100 sq. ft. and cover with *MB25 base sheet, starting at vertical surface across the flashing and over roof surface to a point three (2) inches beyond the edge of the flashing.



(Second and Third Ply)

- e. Apply a second ply of *MB25 2" beyond the perimeter of the base ply and continue across roof, terminating at vertical surface, allowing the *MB25 to ooze out slightly onto the vertical surface and above the ply. Apply a third ply of *MB25 2" beyond the perimeter of second ply and continue across roof, terminating at vertical surface and again allow the *MB25 to ooze out slightly onto the vertical surface and above the ply. Both plies to be embedded in *Conhesive at the rate of 2 gallons per 100 sq. ft.
- f. Apply one layer of *MB Cap embedded in *Conhesive at the rate of 2 gallons per 100 sq. ft. starting at the bottom of the vertical surface across the newly installed plies, to a point seven (7) inches away from the flashing edge and allow the *MB25 to ooze out slightly onto the vertical surface and above the ply.
- g. Nail perimeter of cap sheet 4 inches on center. Apply a 3 coarse application over cap sheet edge using roofing mastic and webbing. Float entire cap sheet surface with *Conhesive at the rate of 2 gallons per 100 sq. ft.
- h. Reapply gravel evenly to entire area, stopping at the tubular skylight vertical surface.

3.6 Pitched Roofs: All pitched roof (over 3:12) installations shall be as follows:

- a. Asphalt Shingles: Laced into field as existing roof jacks are installed. No caulking will be used as primary water leak protection.
- b. Tile/Concrete: Laced into field as existing roof jacks are installed. No caulking will be used as primary water leak protection. All tiles shall be saw cut and not "broken to fit".
- c. Metal Shingles/Tiles: Laced into field as existing roof jacks are installed. No caulking will be used as primary water leak protection. All tiles shall be saw cut or sheared and not "broken or bent to fit".



- 3.7 Notification:** Member/contractor must notify the Manor Alterations Department of any broken/damaged roofing materials, before any installation begins. Additional roofing materials may be required for typical installations, due to breakage/damage. Member and contractor are responsible for restoring the roof to its original pre-installation condition, regardless of the amount of replacement required. All materials will match the existing manufacturer and color or approved equal by the Manor Alterations Department.
- 3.8 Final Inspection:** During the final inspection, should the Manor Alterations Department notice damaged/broken roofing materials that appear to be caused by the installer/installation and absent prior notice of damage, the Member/contractor will be responsible for the proper repair(s).
- 3.9 ASBESTOS:** Installations in existing acoustical sprayed ceilings may encounter asbestos. The Member(s) and contractor(s) must meet or exceed requirements of federal, state and local government regarding asbestos removal procedures.

TUBULAR SKYLIGHT INSTALLATION SPECIFICATIONS

(Prepared 7/26/00)
(Revised 9/9/03)

APPLICATIONS

Contractor shall guarantee in writing, watertight integrity of the tubular skylight and related roof area for (5) five years from date of installation, and shall repair, without charge to owner, any such defects.

All alterations to Mutual structures require the issuance of a VMS Mutual Consent for Manor Alteration and VMS Staff inspection.

All roofing work shall be in strict conformance with current building codes and any applicable standard drawings.

No units shall be installed with the edge of the tubular skylight flashing within 12" of any vent, cricket, gravel stop, ridge, valley or vertical structure.



All tubular skylight flashings are required to be min. 8" in height.

All tubular skylight installations require a 2" Turret Extension to conform to Mutual Standards height requirements.

All tubular skylight flashings and related parts to be painted either Flat Black (BUR Roofs); Flat Black or Orange (Tile and Metal Shingle Roofs); Flat Black or Tan (Comp/Shingle Roofs) or to match color scheme of roof.

FLAT ROOFS

Built-Up Roofing

10", 14" and 16" tubular skylights are the only size units approved for installation on BUR roofs in United Mutual.

All BUR tubular skylight flashings are required to have a 2" metal extension turret installed, set in polyurethane sealant, to meet Mutual Standards for height requirements.

- a. Spud back the perimeter around the Spun Aluminum Flashing edge a minimum of 10" and maximum of 14", leaving roof surface smooth and gravel-free for primer and base felt application.
- b. Apply *Celotex Asphalt Primer to Spun Aluminum Flashing and scraped/spudded roof surface and let dry.
- c. Apply Roofing Mastic to base of Spun Aluminum Flashing per manufacturer's specifications and press in place. Nail aluminum base through raised surface of outer ring 10" on center with 1-1/4" e.g. galvanized roofing nails.
- .
(First Ply/Base Ply)
- d. Apply *S.I.S. Roof Adhesive (Cold Application) at the rate of 2 gallons per 100 sq. ft. and cover with * VaporBar GB #25 Base Sheet, starting at tubular skylight vertical surface across the flashing and over roof surface to a point 2" beyond the edge of the flashing.



(Second and Third Ply)

- e. Apply a second ply of *Celo-Glass IV 2" beyond the perimeter of the base ply and continue across roof, terminating at tubular skylight vertical surface, allowing the *S.I.S. Roof Adhesive to ooze out slightly onto the vertical surface and above the ply. Apply a third ply of *Celo-Glass IV 2" beyond the perimeter of second ply and continue across roof, terminating at vertical surface and again allow the *S.I.S. Roof Adhesive to ooze out slightly onto the vertical surface and above the ply. Both plies to be embedded in *S.I.S. Roof Adhesive at the rate of 2 gallons per 100 sq. ft.
- f. Apply one layer of *Celo-glass Cap Sheet embedded in *S.I.S. Roof Adhesive at the rate of 2 gallons per 100 sq. ft. starting at the bottom of the tubular skylight vertical surface across the newly installed plies, to a point 8" away from the flashing edge and allow the *S.I.S. Roof Adhesive to ooze out slightly onto the vertical surface and above the ply.
- g. Apply a 3 course application (mastic/webbing/mastic) over cap sheet edge using roofing mastic and webbing.

3 Story Buildings

~~Installation of tubular skylights on all three-story buildings are to follow Mutual Standards for **Built-Up Roofing** with the following changes:~~

- ~~a. — Install a (1) one-layer 5/8" type X drywall chase around the reflective tube. Drywall chase to be inclusive of attic area and to start from drywall ceiling and terminate at plywood roof sheathing. Each end and all incisions into the drywall chase to be filled with drywall compound.~~
- ~~b. — An "In-Progress" inspection by VMS Staff is required for all tubular skylights installed in 3 Story buildings.~~



PITCHED ROOFS

Asphalt Composition Shingles

10" and 14" tubular skylights are the only size units approved for installation on pitched Composition Shingle roofs in United Mutual.

- a. **Pitched Metal Flashing:** The powder coated black epoxy based finish applied over a 0.032 in. thick aluminized steel stamped seamless flashing with 32 total added rigid ribs and 8 pre-punched fastener holes shall be laced into existing Asphalt Composition Shingles as existing roof jacks are installed.
- b. **Metal Turret Extension:** Shall be installed onto Pitched Metal Flashings with a polyurethane sealant and screwed into flashing with (4) #8x1/2 philips-head, self-tapping stainless steel screws.
- c. **Turret Shroud:** Shall be installed onto Pitched Metal Flashing and Turret Extension.
- d. No caulking will be used as primary water leak protection.

Concrete & Clay Tile

10" tubular skylights are the only size units approved for installation on all tile roofs in United Mutual.

- a. **Counterbase Flashing:** injected molded polypropylene CC2 classified, 30% mica filled .125 inch thick mold tech pattern MT11365 finish base flashing shall be installed between rafters and be laced into existing underlayment as existing roof jacks are installed.
 - 1. Monier concrete tiles over space sheathing and/or plywood with no underlayment do not require the



installation of a Counterbase Flashing.

- b. **Secondary Flashing:** Polypropylene (Tile Retro Kit for 10" Solatubes) or .060 inch thick A93003 aluminum secondary pre-formed flashing shall be installed over Counterbase Flashing.
- c. **Polypropylene Turret Extension:** shall be installed onto Secondary Flashing with a polyurethane sealant and screwed into flashing with (4) #8x1/2" philip head, self-tapping stainless steel screws.
- d. **Turret Shroud:** shall be installed onto Secondary Flashing and Turret Extension.
- e. No caulking will be used as primary water leak protection.
- f. All tiles shall be saw cut and not "broken to fit".

Metal Shingles

10" tubular skylights are the only size units approved for installation on all tile roofs in United Mutual. Single flashing permitted only on metal shingle roofs.

- a. **Counterbase Flashing:** injected molded polypropylene CC2 classified, 30% mica filled .125 inch thick mold tech pattern MT11365 finish base flashing shall be installed between rafters and be laced into existing underlayment as existing roof jacks are installed.
- b. **Polypropylene Turret Extension:** shall be installed onto Counterbase Flashing with a polyurethane sealant and screwed into flashing with (4) #8x1/2" philipphilips head, self-tapping stainless steel screws.
- c. **Turret Shroud:** shall be installed onto Flashing and Turret Extension.
- d. All tiles shall be saw-cut or sheared and not "broken or bent" to fit.



Notification: Member/contractor must notify the ~~Manor~~ Alterations ~~Department~~Division of any broken/damaged roofing materials, before any installation begins. Additional roofing materials may be required for typical installations, due to breakage/damage. Member and contractor are responsible for restoring the roof to its original pre-installation condition, regardless of the amount of replacement required. All materials will match the existing manufacturer and color or approved equal as determined by the ~~Manor~~ Alterations ~~Department~~Division.

Final Inspection: During the final inspection, should the ~~Alterations Division~~Manor Alterations Department Inspector notice damaged/broken roofing materials that appear to ~~him~~ to be caused by the installer/installation and absent prior notice of damage, the Member/contractor will be responsible for the proper repair(s).

ASBESTOS: Installations in existing acoustical sprayed ceilings may encounter asbestos. The Member(s) and contractor(s) must meet or exceed requirements of federal, state and local government regarding asbestos removal procedures.

*** Product references, such as Conglas products, may be substituted for by equal or better product. All substituted products require approval from the Alterations Division.**



STAFF REPORT

DATE: December 20, 2018
FOR: Architectural Controls and Standards Committee
SUBJECT: Rescind Alteration Standard 26: Solariums and Garden Rooms Buildings

RECOMMENDATION

Approve a resolution to rescind Alteration Standard 26: Solariums and Garden Rooms Buildings.

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) requested Staff to review and revise the current Alteration Standards for applicability, usefulness, and current technology.

There are currently 40 Alteration Standards available for Members to use to perform alterations to their Manor. Many have not been reviewed or updated for years to reflect changes in technology, materials, and construction methods.

Alteration Standard 26: Solariums and Garden Rooms was last revised in August, 2002, via Resolution U-02-109.

DISCUSSION

Solariums were a popular alteration in the 1980's and 1990's; the popularity has waned over the past two decades. Staff has not received any requests for solariums since June, 2005. Additionally, Staff believes that patio enclosures are a viable and more aesthetically pleasing alternative to solariums; staff proposes that patio enclosures be accepted as a like-for-like replacement for solariums. Members will retain the ability to install Solariums using the the variance process.

FINANCIAL ANALYSIS

None.

Prepared By: Kurt Wiemann, Permits, Inspections and Restoration Manager

Reviewed By: Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Attachment 1: Resolution 01-19-XXX Rescind Alteration Standard 26: Solariums and Garden Rooms



Attachment 1

RESOLUTION 01-18-XX

Rescind Standard 26: Solariums and Garden Rooms

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary;

WHEREAS, due to the decreased in popularity of solariums in general, Standard 26 should to be rescinded in its entirety.

NOW THEREFORE BE IT RESOLVED, January 8, 2019, that the Board of Directors of this Corporation hereby rescinds Resolution U-02-109 adopted August 13, 2002; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.

Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 30-days from the postponement to comply with Civil Code §4360.



STAFF REPORT

DATE: December 20, 2018
FOR: Architectural Control and Standards Committee
SUBJECT: Alteration and Inspection Fees

RECOMMENDATION

Staff recommends increases in certain fees to partially recover the cost for the services provided by the Alterations Division.

BACKGROUND

The alterations processing fees were introduced in 1977 via Resolution 250, to establish a base fee of \$10 for standard alteration requests and an additional fee schedule based on valuation for the proposed alterations. In February 2009, the Board adopted a Variance Processing Fee of \$50 to partially offset administrative costs associated with Variance requests. In September 2011, the Board increased the Variance Processing Fee to \$100 to include costs associated with appeals of the Board's decisions related to Variance request applications.

The Alteration fees were last revised in December 2017, via Resolution 01-17-149; the base processing fees for Mutual Consents and Variance Requests were raised to \$35 and \$150 respectively. The fees shown in the inspection fee schedule were not raised.

DISCUSSION

Since alterations are an elective chosen by some Members, it is reasonable that the cost for processing the applications and inspecting the work should be borne by those electing to alter their units. Over the past year, several new processes and services, along with improvements to customer service, have been implemented in the Alterations Division. Contractor parking passes, Demolition Mutual Consents, and Conformance Deposits have all brought significant improvements to the services offered and have increase safety within the Village. After a careful review of the processes and administrative requirements involved, Staff has determined that it is necessary to update the Mutual Consent Processing Fee and the inspection fees to reflect the increased administrative costs.

The existing schedule (Attachment 1) contains two columns of alterations, along with adjacent columns that clarify if the proposed alteration will need an additional permit with the City of Laguna Woods. The first list of alterations contains those which meet Mutual Standards and can be performed with an over-the-counter Mutual Consent. Staff processes an average of 2,032 Mutual Consent applications annually for United and Third. The existing flat fee is \$35 for a standard Mutual Consent. Staff costs to review and process the requests exceed that significantly; Staff recommends increasing the flat fee to \$50.

The second column contains a list of alterations which require more in-depth plan checking and inspections; these items are charged an inspection fee. The fee is a sliding scale which is based on the estimated value of the alteration. The existing fee is based upon 5.6 percent of the mean in the cost range for the alteration (Attachment 2). To make the fees more consistent with the alterations typically being performed within the Village, Staff proposes to maintain the fee at 5.6 percent and increase the value range. Increasing the value range will increase the average inspection fee and better reflect the alteration trends in the Village. Higher valued alterations generally require more detailed plans, which in turn, increases administrative, plan check, and inspection time. This adjustment will better align the fees with the processing task time.

Additionally, based on a review of the requirements of the City of Laguna Woods, Staff has moved several items into the second column to align with City requirements and better reflect the administrative time necessary for those items.

In June 2018, Staff began implementing the Demolition Mutual Consent with a flat processing fee of \$35 to partially offset administrative costs associated with processing of the required detailed documentation. Staff recommends increasing this fee to \$50 to better offset the costs and align with the proposed Mutual Consent fee.

Although Variance Requests and the preparation of accompanying committee staff reports require significant staff time for proper processing, Staff has performed a thorough review of administrative time involved and recommends the variance processing fee remain at \$150.

Additionally, with the implementation of the Conformance Deposit program, administrative costs related to the processing of deposits and a refund of the funds held has increased administrative costs to the Division.

The estimated revenue from fees for 2018 is \$220,768, which is below the actual operational costs for the Division. Assuming no change in volume, the proposed fee increases will raise the estimated revenue for 2019 to \$292,231. (Attachment 3)

The revised fee schedule has been attached (Attachment 4) for review and consideration.

FINANCIAL ANALYSIS

Additional fee revenue will partially offset existing administrative costs in Operations, as outlined above.

Prepared By: Kurt Wiemann, Permits, Inspections and Restoration Manager

Reviewed By: Eve Morton, Alterations Coordinator
Betty Parker, Chief Financial Officer

ATTACHMENT(S)

Attachment 1: Current Fee Schedule
Attachment 2: Valuation Fee Comparison
Attachment 3: Revenue Analysis
Attachment 4: Revised Fee Schedule
Attachment 5: Resolution

Alteration Fee Schedule

(Existing)



Mutual Consent for Alteration(s) Fee Schedule

For Items not listed, please check with Alterations Department **949-597-4616**alterations@vmsinc.orgGo to www.lagunawoodsvillage.com for Mutual Standards and Standard PlansAll items require **HOA** Mutual Consent for Manor Alteration; City Permit Required as Shown

All construction, with a value of \$500 or greater, will be subject to a refundable \$250 Conformance Deposit

MUTUAL CONSENT PROCESSING FEE	
Alteration Type	City Permit Required
Acoustic Ceiling Removal	Yes
Awnings (<i>standard, less than 54"</i>)	No
Awnings (<i>powered</i>)	Yes
Air Conditioner (<i>through the wall</i>)	Yes
Air Conditioner Central (<i>replacement</i>)	Yes
Balcony Modesty Panels	No
Bath Tub Replacement	Yes
Block Walls (<i>under 4 feet high</i>)	No
Block Walls (<i>over 4 feet high</i>)	Yes
Planter Wall	No
Dishwasher	Yes
Doors Revisions (<i>Exterior</i>)	Yes
Electrical	Yes
Exhaust Fan	Yes
Fences & Gates	No
Floor Coverings-exterior	No
Flooring (Vinyl)	Yes
Gutters & Downspouts	Yes
Heat Pumps (<i>Through the wall</i>)	Yes
Metal Drop Shades	No
Modesty Panels	No
Patio Slab Revision	No
Patio Wall Revision	No
Plumbing (Minor)	No
Plumbing (New or Relocation)	Yes
Shower to Shower	Yes
Sliding Glass Door (<i>retrofit</i>)	Yes
Soft Water System	Yes
Soft Water System	
<i>If connected to Water Heater</i>	Yes
Storage Cabinets (<i>Carport</i>)	No
Shades Roll-up	No
Tub to Shower	Yes
Washer and Dryer	Yes
Water Heater Relocation	Yes
Windows (<i>retrofit</i>)	Yes

ALTERATION FEES BASED ON VALUATION			
Alteration Type			City Permit Required
Bathroom Addition, Split			Yes
Central Heating & Air-new			Yes
Covers (<i>atrium, balcony, patio</i>) <i>Replace or New</i>			Yes
Doors (New)			Yes
Sliding Glass Doors-New			Yes
French Doors (New)			Yes
Man Doors (New)			Yes
Enclosures Atrium/Balcony/Patio			Yes
Garden Room/ Solarium			Yes
Room Addition			Yes
Skylights			Yes
Solatubes			Yes
Solar Panels			Yes
Wall Revisions			Yes
Windows (<i>New Construction</i>)			Yes
Unauthorized Alteration Fee			\$300
\$150 VARIANCE PROCESSING FEE			
INSPECTION FEES			
ESTIMATED VALUE OF ALTERATION			FEE
\$750 or Less			\$35
\$751	To	\$1,000	\$49
\$1,001	To	\$1,250	\$63
\$1,251	To	\$1,500	\$77
\$1,501	To	\$1,750	\$91
\$1,751	To	\$2,000	\$105
\$2,001	To	\$2,500	\$126
\$2,501	To	\$3,000	\$154
\$3,001	To	\$4,000	\$196
\$4,001	To	\$5,000	\$252
\$5,001	To	\$6,000	\$308
Over \$6,000			\$392

ATTACHMENT 2

2018 Existing Fee Schedule		
VALUATION	FEE	% of Mean
Under 750	\$35	n/a
751 to 1000	\$49	5.6%
1001 to 1250	\$63	5.6%
1251 to 1500	\$77	5.6%
1501 to 1750	\$91	5.6%
1750 to 2000	\$105	5.6%
2001 to 2500	\$126	5.6%
2501 to 3000	\$154	5.6%
3001 to 4000	\$196	5.6%
4001 to 5000	\$252	5.6%
5001 to 6000	\$308	5.6%
Over 6000	\$392	n/a

Average \$154

Proposed Inspection Fee Schedule			
VALUATION		FEE	% of Mean
Under	\$750	\$50	
\$751	\$2,000	\$77	5.6%
\$2,001	\$4,000	\$168	5.6%
\$4,001	\$6,000	\$280	5.6%
\$6,001	\$8,000	\$392	5.6%
\$8,001	\$10,000	\$504	5.6%
Above	\$10,001	\$700	n/a

Average \$310

ATTACHMENT 3

Proposed Processing Fee Increase Analyses									
Proposed \$15.00 Increase	Mutual Consent Processing Fee	Avg. # Annual Mutual Consent Applications	Projected # Annual Demo Permits	Total	Proposed \$50 Increase	Processing Fee	Avg. # Annual Variance Applications	Total	
Current	\$35	2032	355	\$83,531.00	Current	\$150.00	70	\$ 10,500	
Proposed	\$50	2032	578	\$130,494.72	Proposed	\$150.00	70	\$ 10,500	
Sub-Total Revenue Increase				\$46,963.72	Sub-Total Revenue Increase				\$ -

	Avg. Inspection Fee	Estimated Avg # Inspection Fees Charged	Total Inspection Fee Revenue
Current Average Inspection Fee	\$215	488	\$ 126,737
Proposed Average Inspection Fee	\$310	488	\$ 151,234

2018 Total Estimated Revenue	\$	220,768
2018 Total Estimated Administrative Costs	\$	414,428
2018 Net Expense	\$	(193,660)
2019 Total Estimated Proposed Revenue	\$	292,229
2019 Total Estimated Administrative Costs	\$	423,133
2019 Net Expense	\$	(130,904)
Total Projected Revenue Increase	\$	71,461
Revenue Increase		32%
Administrative Cost Increase		\$8,705.55
		2.1%

Alteration Fee Schedule

Proposed 2019

Mutual Consent for Alteration(s) Fee Schedule

For Items not listed, please check with Alterations Department **949-597-4616**

alterations@vmsinc.org

Go to www.lagunawoodsvillage.com for Mutual Standards and Standard Plans

All items require **HOA** Mutual Consent for Manor Alteration; City Permit Required as Shown

All construction, with a value of \$500 or greater, will be subject to a refundable \$250 Conformance Deposit

\$50.00 MUTUAL CONSENT PROCESSING FEE	
Alteration Type	City Permit Required
Acoustic Ceiling Removal	Yes
Awnings (<i>standard, less than 54"</i>)	No
Awnings (<i>powered</i>)	Yes
Air Conditioner (<i>through the wall</i>)	Yes
Air Conditioner Central (<i>replacement</i>)	Yes
Balcony Modesty Panels	No
Bath Tub Replacement	Yes
Block Walls (<i>under 4 feet high</i>)	No
Block Walls (<i>over 4 feet high</i>)	Yes
Planter Wall	No
Dishwasher	Yes
Doors Revisions (<i>Exterior</i>)	Yes
Electrical	Yes
Exhaust Fan	Yes
Fences & Gates	No
Floor Coverings-exterior	No
Flooring (Vinyl)	Yes
Gutters & Downspouts	Yes
Heat Pumps (<i>Through the wall</i>)	Yes
Metal Drop Shades	No
Modesty Panels	No
Patio Slab Revision	No
Patio Wall Revision	No
Plumbing (Minor)	No
Plumbing (New or Relocation)	Yes
Shower to Shower	Yes
Sliding Glass Door (<i>retrofit</i>)	Yes
Soft Water System	Yes
Soft Water System	
<i>If connected to Water Heater</i>	Yes
Storage Cabinets (<i>Carport</i>)	No
Shades Roll-up	No
Tub to Shower	Yes
Washer and Dryer	Yes
Water Heater Relocation	Yes
Windows (<i>retrofit</i>)	Yes

INSPECTION FEES BASED ON VALUE			
Alteration Type			City Permit Required
Bathroom Addition, Split			Yes
Central Heating & Air-new			Yes
Covers (<i>atrium, balcony, patio</i>) <i>Replace or New</i>			Yes
Doors (New)			Yes
Sliding Glass Doors-New			Yes
French Doors (New)			Yes
Man Doors (New)			Yes
Enclosures Atrium/Balcony/Patio			Yes
Garden Room/ Solarium			Yes
Room Addition			Yes
Skylights			Yes
Solatubes			Yes
Solar Panels			Yes
Wall Revisions			Yes
Windows (<i>New Construction</i>)			Yes
Unauthorized Alteration Fee			\$300
\$150 VARIANCE PROCESSING FEE			
Inspection Fee Schedule			
VALUATION			FEE
Under		\$750	\$50
\$751	To	\$2,000	\$77
\$2,001	To	\$4,000	\$168
\$4,001	To	\$6,000	\$280
\$6,001	To	\$8,000	\$392
\$8,001	To	\$10,000	\$504
Above		\$10,001	\$700



RESOLUTION 01-19-XXX

Alteration Processing Fee Policy

WHEREAS, alteration requests require significant administrative time for proper processing, including research, report preparation, and presentation to the appropriate committee and the Board;

WHEREAS, in order to offset administrative costs associated with processing alteration requests, which is often followed by an appeal of the Board's decision as mandated in accordance with Resolution 01-09-101; and

WHEREAS, the Mutual currently charges a \$35 fee for a Mutual Consent and a \$150 fee for a Variance to offset administrative costs associated with processing these requests;

WHEREAS, the Mutual currently charges a fee on a sliding scale for alterations meeting certain criteria; and

WHEREAS, the Board determined the fees should be non-refundable;

NOW THEREFORE BE IT RESOLVED, January 8, 2019, to partially offset administrative costs associated with processing alteration requests, the Board of Directors of this Corporation hereby sets the alteration and inspection fees as attached to the official minutes of this meeting;

RESOLVED FURTHER, that Resolution 01-17-149 adopted December 12, 2017, is hereby superseded and cancelled; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

JANUARY Initial Notification

Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 30- days from the postponement to comply with Civil Code §4360.